

TULSA METROPOLITAN AREA PLANNING COMMISSION

For Meeting No. 2535

January 7, 2009, 1:30 PM

175 East 2nd Street, 2nd Level, One Technology Center

Tulsa City Council Chambers

CONSIDER, DISCUSS AND/OR TAKE ACTION ON

Call to Order:

REPORTS

Chairman's Report:

Worksession Report:

Comprehensive Plan Report:

Report on the update of the Comprehensive Plan

Director's Report:

Review TMAPC Receipts for the month of November 2008

CONSENT AGENDA

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

1. **LS-20276** – Harden Associates (9310)/Lot-Split (PD 5) (CD 4)
Northeast corner of South Hudson Avenue and East 13th Street, 1219
South Hudson Avenue
2. **LS-20277** – Daniel Isgrigg (7421)/Lot-Split (County)
Northwest corner of East 161st Street and South 145th Avenue, 16010
South 145th East Avenue
3. **Stonegate II** – (9425) Final Plat (PD 17) (CD 6)
Northeast corner of East 51st Street and 177th East Avenue
4. **Stonegate Estates** – (8328) Final Plat (PD 26) (CD 8)
Southwest corner of 106th Street South and South Yale Avenue
5. **Ewing Irrigation II** – (9431) Final Plat (PD 18 C) (CD 6)
East of South 107th East Avenue and north of East 61st Street
6. **Overland Park II** – (2322) Final Plat (County)
North of the northwest corner of North 59th Avenue and East 146th Street
North (State Highway 20)
7. **Rockford Village** – (3093) Change of Access (PD 6) (CD 9)
Lots 12 and 14, Block 1, Rockford Village, South of East 41st Street and
East of South Peoria Avenue
8. **Pine Street Park II Amended** – (0431) Final Plat (PD 16) (CD 6)
South of East Pine Street, between North Mingo Road and North Garnett

9. **PUD-230-8 – Hath Forbes Breisch & Assoc.** (PD-17) (CD-5)
 Northeast of the northeast corner of South 102nd East Avenue and 41st Street South (Minor Amendment to reduce the required setback from internal PUD boundary/lot lines from 50 feet to ten feet.) (Related to Item 10.)
10. **PUD-230 – Jack Reed Construction Co.** (PD-17) (CD-5)
 Northeast of the northeast corner of South 102nd East Avenue and 41st Street South (Detail Site Plan for a one-story, 4,995 SF office building.) (Related to Item 9.)
11. **PUD-511-1 – Tulsa Engineering & Planning/Tim Terral** (PD-6) (CD-9)
 East of the northeast corner of 31st Street and Peoria Avenue (Minor Amendment to decrease the building setback from the centerline of 31st Street from 85 feet to 70 feet and increase the maximum permitted height of a privacy wall/fence from eight feet to ten feet.)
12. **PUD-641-5 – Roy Johnsen** (PD-18) (CD-7)
 West of the northwest corner of 71st Street South and Sheridan Road (Minor Amendment to reduce setback for single-story structures from 50 feet to 20 feet.) (Related to Item 13.)
13. **PUD-641 – Roy Johnsen** (PD-18) (CD-7)
 North side of East 71st Street, approximately 1,000 feet west of South Sheridan Road (Detail Site Plan for construction of six two-unit independent living dwellings at Montereau in Warren Woods.) (Related to Item 12.)
14. **PUD-758 – HRAOK, Inc./C. Dwayne Wilkerson** (PD-6) (CD-9)
 East of the northeast corner of Peoria Avenue and 41st Street (Detail Site Plan for a 240 unit, three- and four-story apartment complex, including a parking ramp.)

15. **CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA**

PUBLIC HEARINGS

16. **Riverwest** – (8202) Preliminary Plat (PD 8) CD 2)
 North of West 71st Street South, East of Okmulgee Expressway/U.S. 75
 (Continued to January 21, 2009)
17. **CZ-397 – TMAPC Staff** **AG to RE**
 East of southeast corner 261st West Avenue and 263rd West Avenue (County)
18. **Z-7123 – Timothy Scott Nall** **RS-3 to CG**
 3755 and 3751 South Tacoma Avenue (PD-9) (CD-2)

OTHER BUSINESS

19. **Election of 2009 TMAPC Officers**
20. **Commissioners' Comments**

ADJOURN

PD = Planning District/CD = Council District

NOTICE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526

Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG.

Ringingsound on all cell phones and paggers must be turned off during the Planning Commission.

Visit our website @ www.tmapc.org

The mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide comprehensive planning, zoning and land division services for the City of Tulsa and Tulsa County through a joint city-county cooperative planning commission resulting in the orderly development of the Tulsa Metropolitan Area and enhancing and preserving the quality of life for the region's current and future residents.

TMAPC Mission Statement

Final Subdivision Plat

Stonegate II - (9425) (PD 17) (CD 6)
Northeast corner of East 51st Street and 177th East Avenue

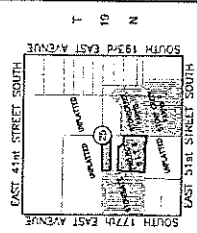
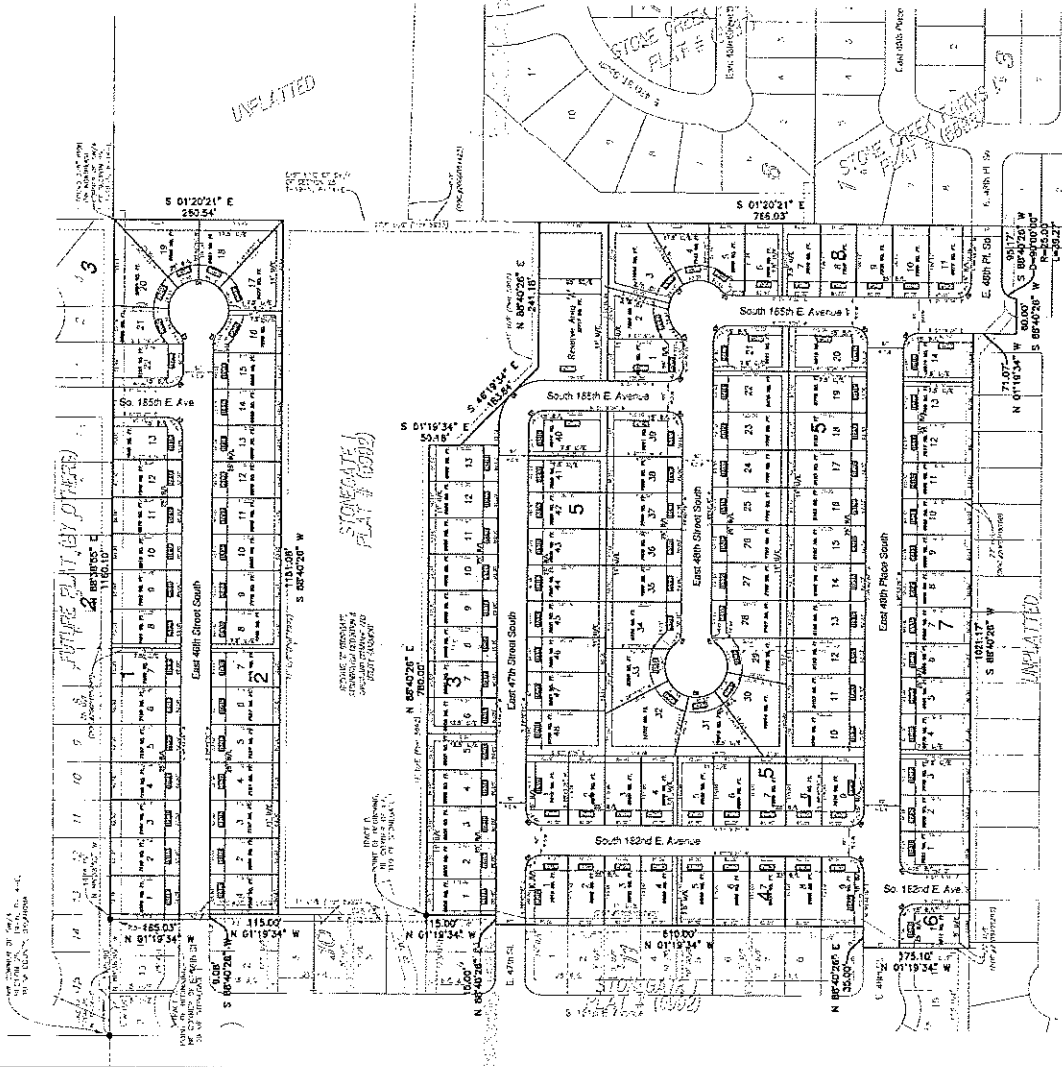
This plat consists of 131 Lots in 8 Blocks on 30.50 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.

Draft Final Plat Stonegate II

AN ADDITION TO THE CITY OF TULSA
BEING A SUBDIVISION OF THE SW/4 OF SECTION 25, TOWNSHIP 19 NORTH, RANGE 14 EAST, TULSA COUNTY, OKLAHOMA

PLAT No. _____



Project Data

OWNER/DEVELOPER
DYN LANE 51 LLC
AN OPERATIONAL UNIT UNITARY CO.
3700 W. 101st ST. SUITE 200
TULSA, OKLAHOMA 74102

ENGINEER/SURVEYOR
CONCEPT DESIGN GROUP
COOK & ASSOCIATES ENGINEERS, INC.
127 EAST COLLIER
TULSA, OKLAHOMA 74103
918.258.9483 (FAX)
EMAIL: info@conceptdesign.com

MUNICIPAL AUTHORITY
CITY OF TULSA
111 SOUTH GREENWOOD AVENUE
TULSA, OKLAHOMA 74106
918.596.8899

ADDRESSES
ADDRESS SHOWN ON THIS PLAT WILL BE THE ADDRESS FOR MAILING AND DELIVERY OF THIS PLAT. ADDRESS SHOULD NEVER BE REUSED ON A PUBLIC STREET OR HIGHWAY.

NOTES:
ALL STREETS SHOWN ARE DESIGNATED AS PUBLIC STREETS OF THIS PLAT.
ALL RIGHTS OF WAY ARE DESIGNATED BY THIS PLAT.
SIDEWAYS ARE TO BE CONSTRUCTED ON ALL STREETS.

Site Data

GENERAL LOCATION
PART OF SW/4 SECTION 25, TOWNSHIP 19 NORTH, RANGE 14 EAST, TULSA COUNTY, OKLAHOMA

MONUMENTATION
A 5/8" X 1/8" CORNER PIN WITH A GRANITE PLATE AND COP STAMPED "CMTA" TO BE SET AT ALL PLAT BOUNDARY CORNERS AND AT ALL PLAT BOUNDARY INTERSECTIONS, EXCEPT AT CORNERS OF EXISTING CORNERS TO BE SET AT ALL LOT CORNERS AFTER COMPLETION OF IMPROVEMENTS. UNLESS NOTED OTHERWISE.

BENCHMARK
A 5/8" X 1/8" CORNER PIN WITH A GRANITE PLATE AND COP STAMPED "CMTA" TO BE SET AT ALL PLAT BOUNDARY CORNERS AND AT ALL PLAT BOUNDARY INTERSECTIONS, EXCEPT AT CORNERS OF EXISTING CORNERS TO BE SET AT ALL LOT CORNERS AFTER COMPLETION OF IMPROVEMENTS. UNLESS NOTED OTHERWISE.

FLOOD NOTE
BEARINGS ARE BASED ON THE WEST LINE OF THE SW/4 OF SECTION 25, TOWNSHIP 19 NORTH, RANGE 14 EAST, TULSA COUNTY, OKLAHOMA. THE INTERSECTION OF COUNTY LINE ROAD (19300 C. AVE.) AND EAST 47TH STREET, NEAR SECTION CORNER (TOWNSHIP 19 NORTH, RANGE 14 EAST) IS USED AS A POINT OF BEGINNING. THE BENCHMARK IS 890.246.

LAND AREA
13,977.79 SQ. FT.
131,000.8 SQUARE FEET

Curve Table

STATION	PI (STATION)	CHORD BEARS	CHORD BEARS
1	2	25.00	25.00
2	3	25.00	25.00
3	4	25.00	25.00
4	5	25.00	25.00
5	6	25.00	25.00
6	7	25.00	25.00
7	8	25.00	25.00
8	9	25.00	25.00
9	10	25.00	25.00
10	11	25.00	25.00
11	12	25.00	25.00
12	13	25.00	25.00
13	14	25.00	25.00
14	15	25.00	25.00
15	16	25.00	25.00
16	17	25.00	25.00
17	18	25.00	25.00
18	19	25.00	25.00
19	20	25.00	25.00
20	21	25.00	25.00
21	22	25.00	25.00
22	23	25.00	25.00
23	24	25.00	25.00
24	25	25.00	25.00
25	26	25.00	25.00
26	27	25.00	25.00
27	28	25.00	25.00
28	29	25.00	25.00
29	30	25.00	25.00
30	31	25.00	25.00
31	32	25.00	25.00
32	33	25.00	25.00
33	34	25.00	25.00
34	35	25.00	25.00
35	36	25.00	25.00
36	37	25.00	25.00
37	38	25.00	25.00
38	39	25.00	25.00
39	40	25.00	25.00
40	41	25.00	25.00
41	42	25.00	25.00
42	43	25.00	25.00
43	44	25.00	25.00
44	45	25.00	25.00
45	46	25.00	25.00
46	47	25.00	25.00
47	48	25.00	25.00
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81	82	25.00	25.00
82	83	25.00	25.00
83	84	25.00	25.00
84	85	25.00	25.00
85	86	25.00	25.00
86	87	25.00	25.00
87	88	25.00	25.00
88	89	25.00	25.00
89	90	25.00	25.00
90	91	25.00	25.00
91	92	25.00	25.00
92	93	25.00	25.00
93	94	25.00	25.00
94	95	25.00	25.00
95	96	25.00	25.00
96	97	25.00	25.00
97	98	25.00	25.00
98	99	25.00	25.00
99	100	25.00	25.00

STATE OF OKLAHOMA
COUNTY OF TULSA

I, **James H. Cook**, Surveyor, do hereby certify that the above described plat was lawfully prepared and that the same conform to the provisions of the laws of this State relating to the subdivision of land.

Witness my hand and the seal of my office this 15th day of **August**, 2011.

James H. Cook
Surveyor
Tulsa County, Oklahoma

CERTIFICATE

I hereby certify that all red marks shown on this plat have been lawfully placed and that the same conform to the provisions of the laws of this State relating to the subdivision of land.

This certificate is not to be construed as a warranty of title. It is given solely for the purpose of certifying that the plat has been lawfully prepared and that the same conform to the provisions of the laws of this State relating to the subdivision of land.

Witness my hand and the seal of my office this 15th day of **August**, 2011.

James H. Cook
Surveyor
Tulsa County, Oklahoma

LEGEND

1. All red lines are shown on this plat as proposed.

2. All blue lines are shown on this plat as existing.

3. All green lines are shown on this plat as proposed.

4. All yellow lines are shown on this plat as proposed.

RECEIVED
AUG 16 2011
TULSA COUNTY CLERK
TULSA, OKLAHOMA

DRAFT FINAL COPY

Stonegate II
Sheet 1 of 3
Date Prepared: 11/17/09

Final Subdivision Plat

Stonegate Estates - (8328) (PD 26) (CD 8)
Southwest corner of 106th Street South and South Yale Avenue

This plat consists of 6 Lots in 1 Block on 3.54 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.

PLANNED UNIT DEVELOPMENT 754

Stonegate Estates

A subdivision in the City of Tulsa, being a part of the N/2 of the NE/4 of the SE/4 of Section 28, Township 18 North, Range 13 East, of the Indian Meridian, Tulsa County, State of Oklahoma

OWNER / DEVELOPER

101st Copper Oaks, LLC
an Oklahoma Limited Liability Company
10825 South Memorial Drive
Tulsa, Oklahoma 74133
Julian Puma: 918.359.6372

ENGINEER / SURVEYOR

Tulsa Engineering & Planning Associates, Inc.
an Oklahoma Limited Liability Company
8727 West 10th Street, Suite 100
Tulsa, Oklahoma 74133
518.232.3021
surveys@tepainc.com



Legend
 Dotted Line = Building Footprint and Utility Easement
 Solid Line = Utility Easement
 Dashed Line = Reserve "X", Private Driveway & Utility Easement

Monument Notes
 1. All monuments shown on this plat are to be set in accordance with the provisions of the Oklahoma Statutes, Title 102, Section 102-1-1, and the Oklahoma Rules of Professional Conduct, Rule 102-1-1.2.
 2. A 3/4" x 1/4" aluminum bar with a yellow plastic cap stamped "TULSA 10203" is to be set at all lot corners after completion of improvements, unless noted otherwise.
 3. A 3/4" x 1/4" aluminum bar with a yellow plastic cap stamped "TULSA 10203" is to be set at all lot boundaries, corners, points of intersection, points of beginning, points of termination of easements, after completion of improvements, unless noted otherwise.

Basis of Bearings
 The bearings and distances for this plat are based on the assumed bearing of the South Line of the NE/4 of the SE/4 of Section 28, Township 18 N, Range 13 E, Tulsa County, State of Oklahoma.

Benchmark
 The benchmark for this plat is the benchmark located at the corner of Section 28, T. 18 N., R. 13 E., Tulsa County, State of Oklahoma.

Backflow Preventer Valve
 The backflow preventer valve shall be set in accordance with the provisions of the Oklahoma Statutes, Title 102, Section 102-1-1, and the Oklahoma Rules of Professional Conduct, Rule 102-1-1.2.

Sidewalks
 Sidewalks shall be installed along the exterior of each lot within the subdivision in accordance with the provisions of the Oklahoma Statutes, Title 102, Section 102-1-1, and the Oklahoma Rules of Professional Conduct, Rule 102-1-1.2.

Curve Table

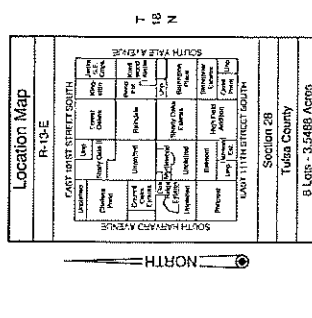
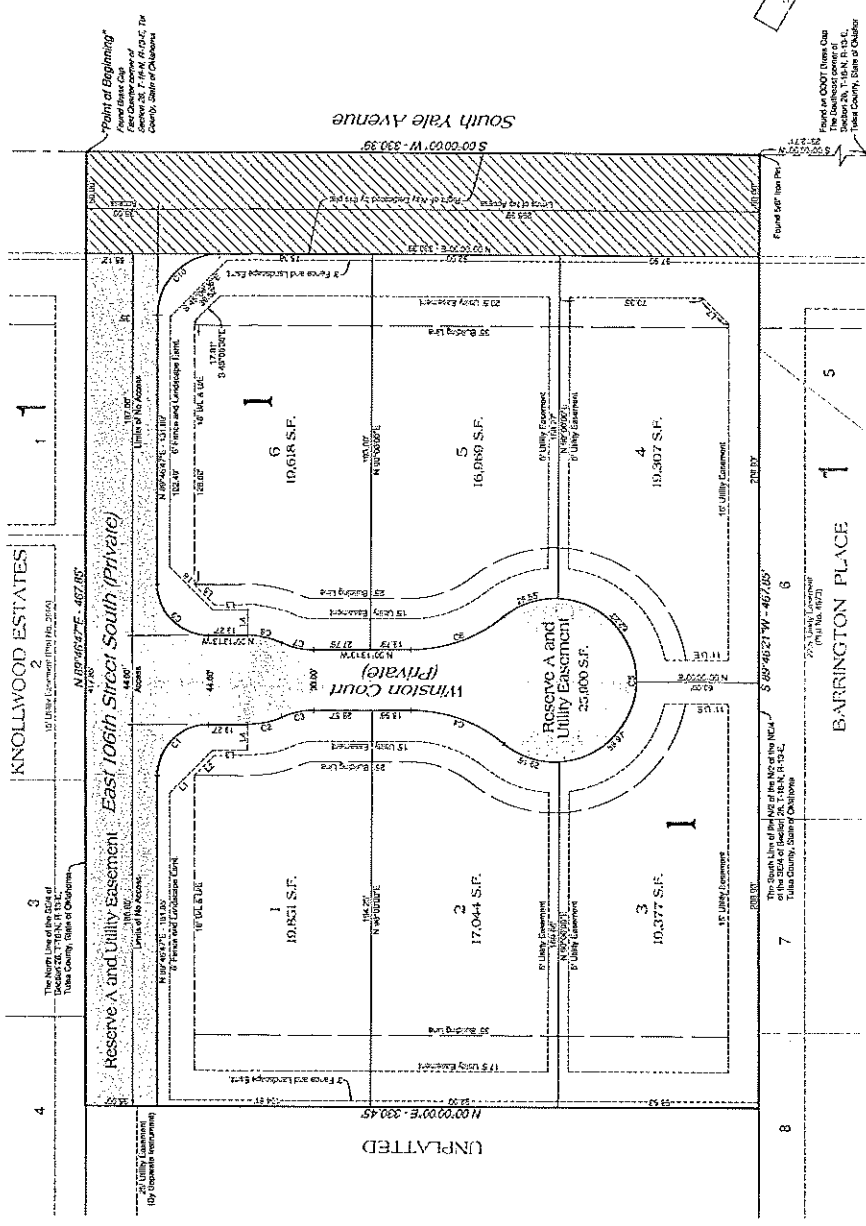
Sta.	Chord	Length	Chord Bearing	Chord Distance
1+00.00	100.00	100.00	S 0° 00' 00" E	100.00
1+10.00	100.00	100.00	S 0° 00' 00" E	100.00
1+20.00	100.00	100.00	S 0° 00' 00" E	100.00
1+30.00	100.00	100.00	S 0° 00' 00" E	100.00
1+40.00	100.00	100.00	S 0° 00' 00" E	100.00
1+50.00	100.00	100.00	S 0° 00' 00" E	100.00
1+60.00	100.00	100.00	S 0° 00' 00" E	100.00
1+70.00	100.00	100.00	S 0° 00' 00" E	100.00
1+80.00	100.00	100.00	S 0° 00' 00" E	100.00
1+90.00	100.00	100.00	S 0° 00' 00" E	100.00
2+00.00	100.00	100.00	S 0° 00' 00" E	100.00

Line Table

Sta.	Chord	Length	Chord Bearing	Chord Distance
1+00.00	100.00	100.00	S 0° 00' 00" E	100.00
1+10.00	100.00	100.00	S 0° 00' 00" E	100.00
1+20.00	100.00	100.00	S 0° 00' 00" E	100.00
1+30.00	100.00	100.00	S 0° 00' 00" E	100.00
1+40.00	100.00	100.00	S 0° 00' 00" E	100.00
1+50.00	100.00	100.00	S 0° 00' 00" E	100.00
1+60.00	100.00	100.00	S 0° 00' 00" E	100.00
1+70.00	100.00	100.00	S 0° 00' 00" E	100.00
1+80.00	100.00	100.00	S 0° 00' 00" E	100.00
1+90.00	100.00	100.00	S 0° 00' 00" E	100.00
2+00.00	100.00	100.00	S 0° 00' 00" E	100.00

Lot Addresses
 Addresses shown on this plat were provided by the City of Tulsa. The City of Tulsa is not responsible for the accuracy of the addresses shown on this plat.

Notes
 1. The plat shall be subject to the provisions of the Oklahoma Statutes, Title 102, Section 102-1-1, and the Oklahoma Rules of Professional Conduct, Rule 102-1-1.2.
 2. The plat shall be subject to the provisions of the Oklahoma Statutes, Title 102, Section 102-1-1, and the Oklahoma Rules of Professional Conduct, Rule 102-1-1.2.



FINAL PLAT
 This plat has been approved by the City of Tulsa Planning Commission on 08/26/2008.

APPROVED BY THE CITY OF TULSA
 City Clerk: [Signature]
 Mayor: [Signature]

APPROVED BY THE SURVEYOR
 Surveyor: [Signature]

RECEIVED
 OCT 16 2008
 Planning Commission

Filed as COPY from City Clerk's Office
 The location of the plat is at the corner of East 106th Street and South 10th Street, Tulsa County, State of Oklahoma.

Stonegate Estates
 Date of Preparation: 11/02/2008
 Sheet: 1 of 2

Final Subdivision Plat

Ewing Irrigation II - (9431) (PD 18 C) (CD 6)
East of South 107th East Avenue and North of East 61st Street

This plat consists of 1 Lot in 1 Block on 1.40 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.

Final Subdivision Plat

Overland Park II - (2322) (County)

North of the northwest corner of North 59th Avenue and East 146th Street

This plat consists of 23 Lots in 2 Blocks on 34.51 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.

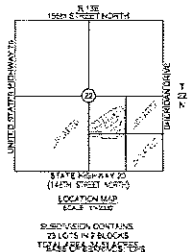
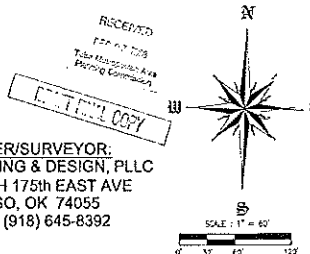
FINAL PLAT OVERLAND PARK II

A PART OF LAND IN THE NW/4 OF THE SE/4 OF SECTION 22, T-22-N, R-13-E
AN ADDITION TO CITY OF COLLINSVILLE, TULSA COUNTY, OKLAHOMA

OWNER/DEVELOPER:
SMALYO PROPERTIES, INC.
123 NORTH 7th STREET
COLLINSVILLE, OK 74021
PHONE: (918) 371-3183

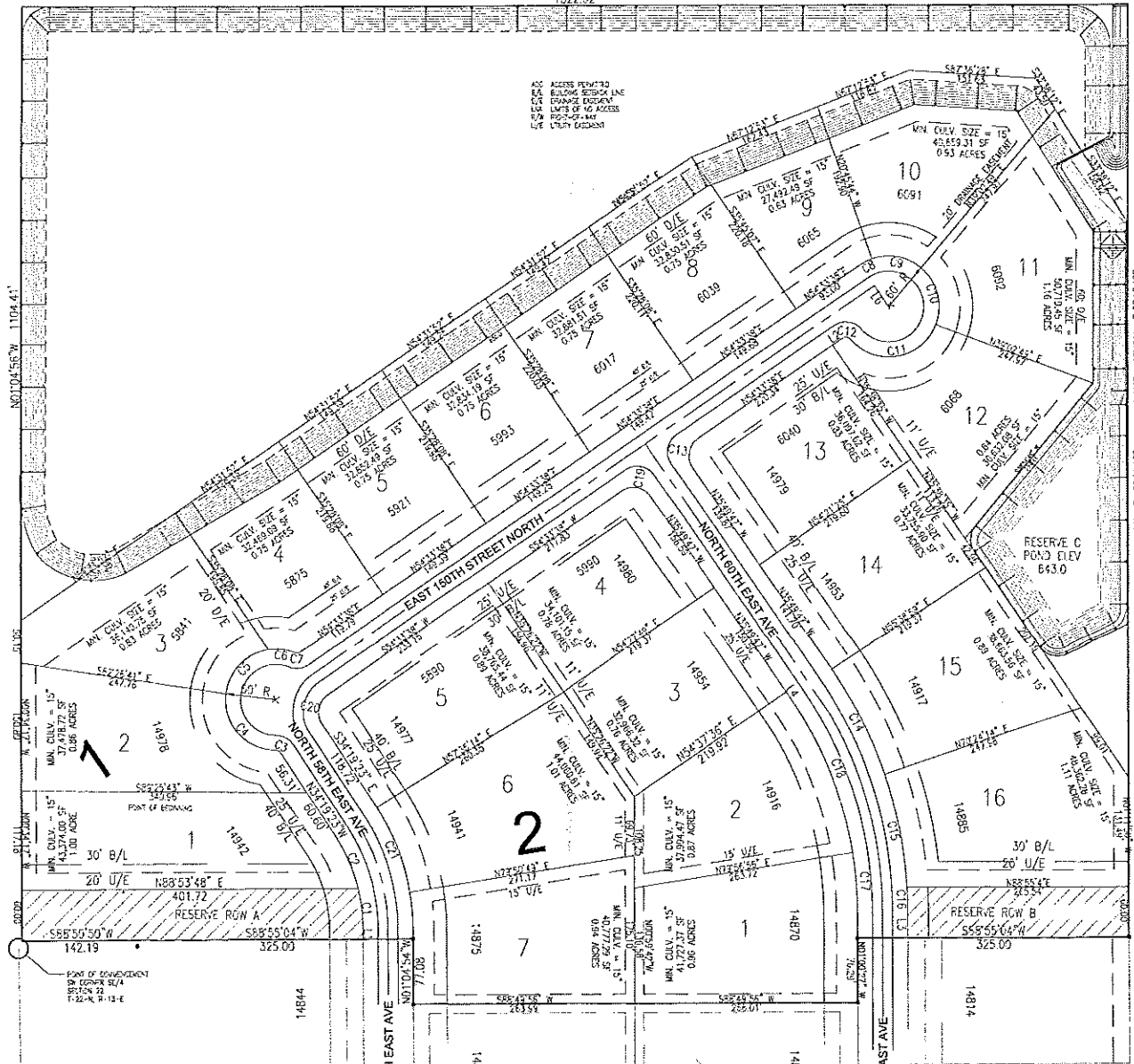
ENGINEER/SURVEYOR:
BIRD SURVEYING & DESIGN, PLLC
9020 NORTH 175th EAST AVE
OWASSO, OK 74055
PHONE: (918) 645-8392

UNPLATTED
1837417 E
1322.32



THIS SECTION CONTAINS
25 LOTS IN 7 BLOCKS
TOTAL OF 432.61 ACRES

400' ACCESS PERMITTED
EIA BUILDING SETBACK LINE
LOCAL CHANGING EASEMENT
LOCAL LIMITS OF 40' ACCESS
FOR PROPERTY AND
LIVE COUNTRY EASEMENT



ADVERSEES SHOWN ON THIS PLAT ARE ACCURATE AS OF THE DATE THE PLAT WAS FILED. ADVERSEES ARE SUBJECT TO CHANGE AND SHOULD BE RELEASD IN PLACE OF THE LEGAL DESCRIPTION.

THE CURVED DIMENSIONS REPRESENT THE NOMINAL SIZE OF SMOOTH ROUND PIPES ON SMOOTH PIPE ENDS OR SMOOTH PIPE FITS REQUIRED FOR PROPER DRAINAGE.

ALL CORNERS ARE MONUMENTED WITH 1/2" IRON PINS.

FLOOR PLAN NOTE: PROPOSED SITE IS OUTSIDE OF FIRM 100 YEAR FLOOD PLAN BOUNDARIES. FEMA FIRM NO. 170 OF 752 AND NUMBER 401432215H (EXTENSION DATE REVISION 02, 1998)

CURVE DATA INFORMATION

BEARING	DISTANCE	PI	RAIUS	LENGTH	CHORD BEARING	CHORD LENGTH
S82°15'41" E	247.76	1	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	2	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	3	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	4	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	5	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	6	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	7	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	8	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	9	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	10	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	11	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	12	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	13	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	14	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	15	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	16	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	17	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	18	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	19	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	20	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	21	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	22	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	23	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	24	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	25	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	26	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	27	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	28	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	29	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	30	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	31	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	32	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	33	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	34	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	35	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	36	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	37	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	38	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	39	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	40	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	41	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	42	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	43	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	44	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	45	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	46	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	47	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	48	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	49	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	50	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	51	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	52	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	53	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	54	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	55	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	56	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	57	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	58	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	59	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	60	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	61	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	62	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	63	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	64	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	65	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	66	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	67	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	68	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	69	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	70	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	71	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	72	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	73	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	74	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	75	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	76	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	77	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	78	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	79	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	80	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	81	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	82	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	83	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	84	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	85	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	86	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	87	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	88	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	89	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	90	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	91	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	92	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	93	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	94	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	95	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	96	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	97	149.72	149.72	S82°15'41" E	149.72
S88°53'48" E	401.72	98	200.86	200.86	S88°53'48" E	200.86
S88°55'04" W	325.00	99	162.50	162.50	S88°55'04" W	162.50
S82°15'41" E	247.76	100	149.72	149.72	S82°15'41" E	149.72

**FINAL PLAT
CERTIFICATE OF APPROVAL**

I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on _____

_____/_____
City Engineer

This approval is void if this plat is not filed in the Office of the County Clerk or is not filed before _____

OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY
THE TULSA OFFICE OF THE DEPARTMENT OF ENVIRONMENTAL QUALITY HAS APPROVED THIS PLAT FOR THE USE OF PUBLIC WATER SYSTEMS AND ON SITE SEWER SYSTEMS ON THIS DATE OF _____

DEPARTMENTAL PROJECT SPECIALIST
DEPARTMENT OF ENVIRONMENTAL QUALITY

**Change of Access on Recorded Plat
TMAPC January 7, 2009**

Rockford Village – (PD 6) (CD 9)

South of East 41st Street South and East of South Peoria Avenue

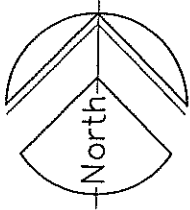
This application is made to allow a change of access to add access along East 41st Street South. The property is zoned RM-2.

Staff recommends approval of the change of access. The Traffic Engineer has reviewed and approved the request. Staff recommends **APPROVAL** of the change of access as submitted.

Change of Access Exhibit

Rockford Village

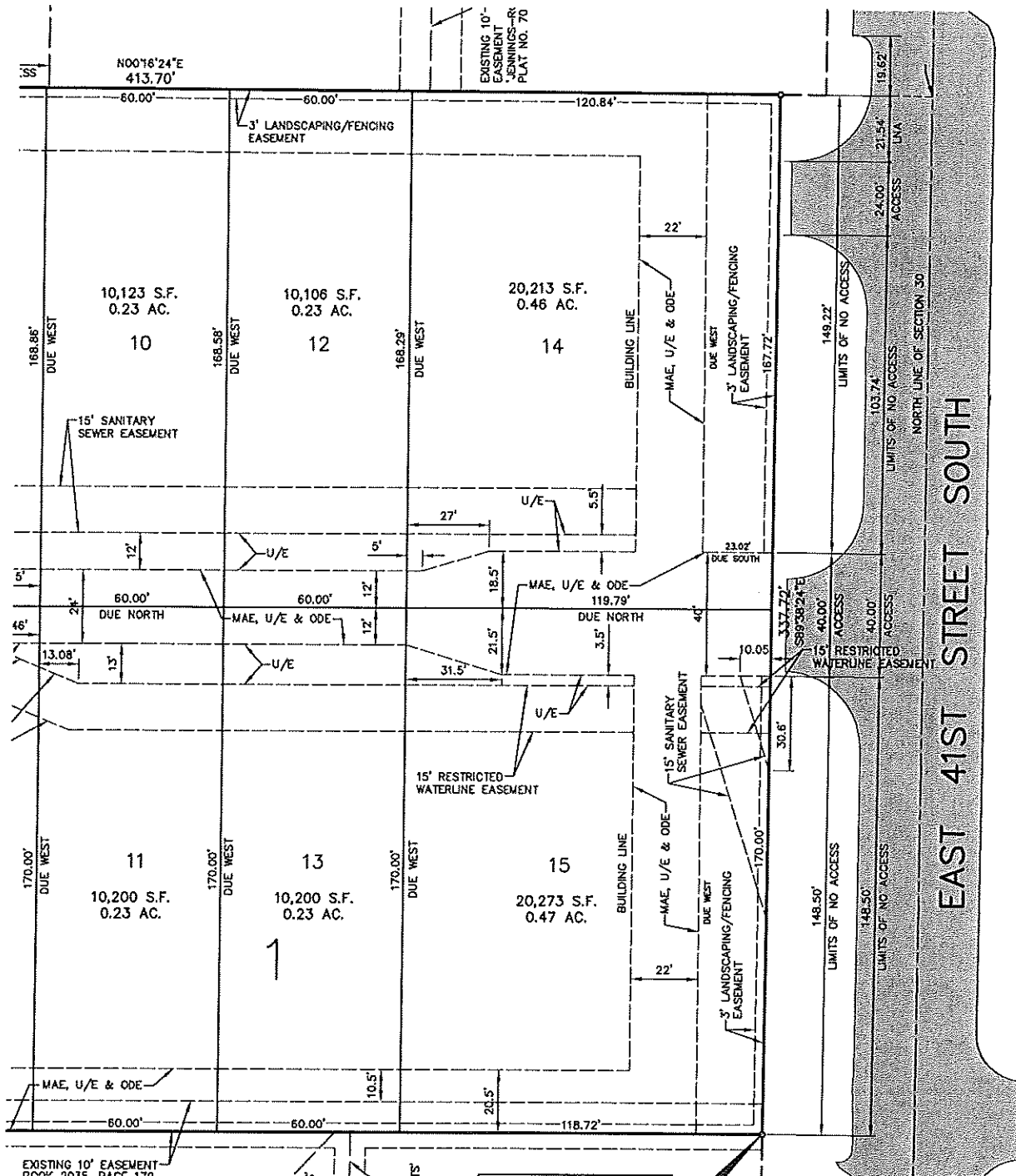
Plat No. 6055



SCALE 1"=50'

LEGEND

- EXISTING ACCESS
- PROPOSED ACCESS



APPROVED:
M. A. Brown
 12-10-2008

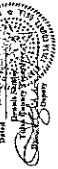
Tanner Consulting, LLC

5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918)745-9929

Rockford Village
 A RESUBDIVISION OF
 BLOCKS 1 AND 2 OF 'FORTY FIRST ADDITION'
 AND
 VACATED SOUTH ROCKFORD AVENUE
 LOT 1 IN BLOCK 1 OF 'DON-LEE'
 SECTION 30, T-19-N, R-13-E
 CITY OF TULSA, TULSA COUNTY, OKLAHOMA

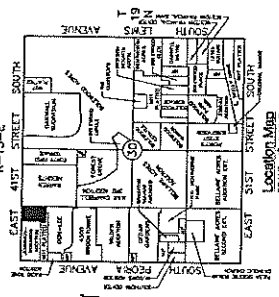
TULSA COUNTY CHIEF - LARILNE WILSON
 Dec 7 2008 09:55 Paper 1
 Fee \$2.50

CERTEFACT
 I hereby certify that all the rules and regulations involved in the recording of this plat have been strictly followed and that the same are correct in accordance with the laws of the State of Oklahoma. This plat is not to be construed as payment of any taxes or fees, and it is the responsibility of the plat owner to pay the same. The amount of the security deposit is \$10,000.00.



6055

PLAT NO. 6055
 CITY OF TULSA
 TULSA COUNTY, OKLAHOMA
 This plat is subject to the provisions of the Oklahoma Subdivision Act, Title 101, Section 10-101, et seq., and the Oklahoma Landlord-Tenant Act, Title 101, Section 10-101, et seq.
 The plat is subject to the provisions of the Oklahoma Subdivision Act, Title 101, Section 10-101, et seq., and the Oklahoma Landlord-Tenant Act, Title 101, Section 10-101, et seq.
 The plat is subject to the provisions of the Oklahoma Subdivision Act, Title 101, Section 10-101, et seq., and the Oklahoma Landlord-Tenant Act, Title 101, Section 10-101, et seq.



Owner
 COPEL, LLC
 3164 AVENUE H, SUITE 100
 TULSA, OKLAHOMA 74133
 PHONE: (918) 857-0100

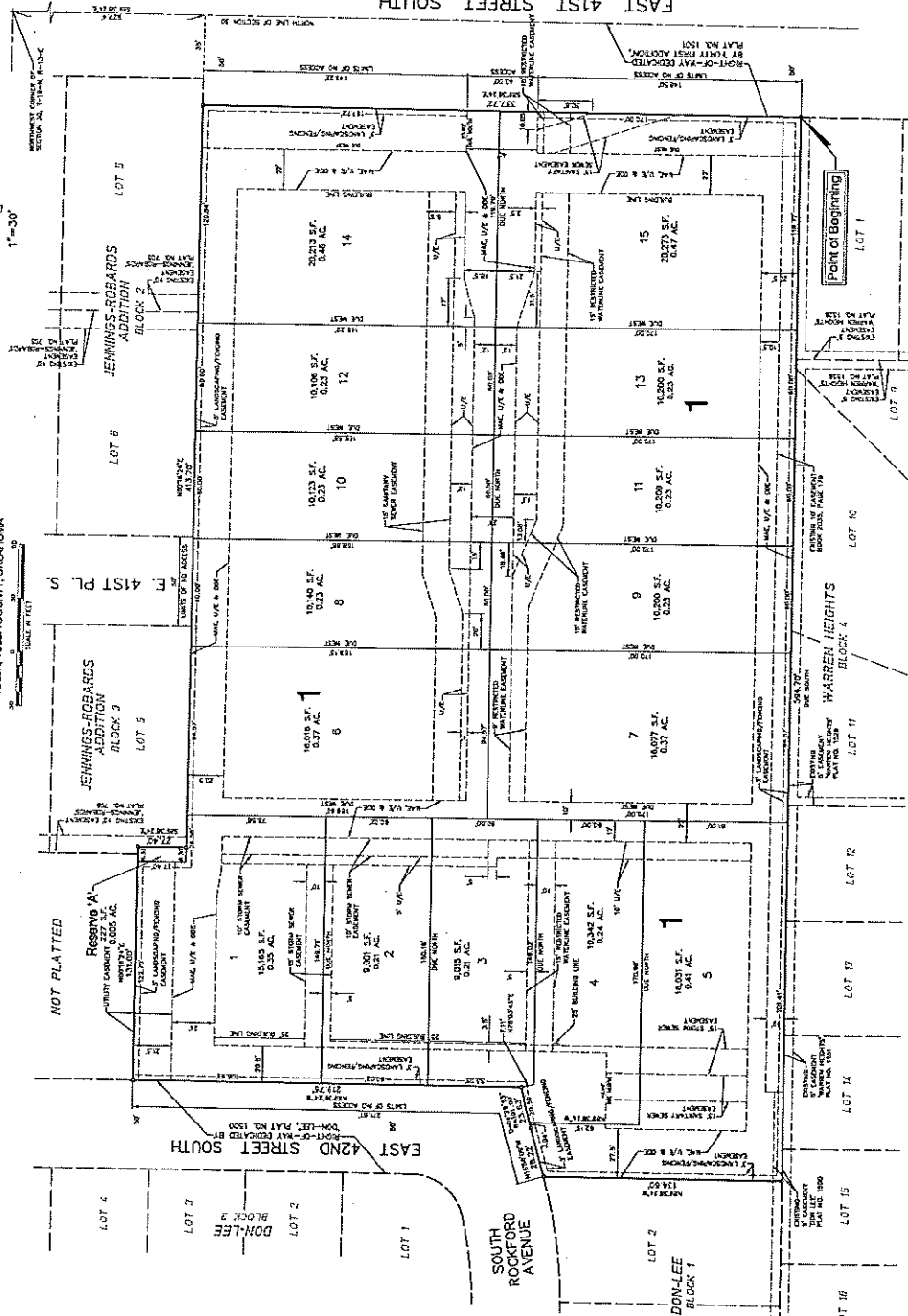
Engineer/Surveyor
 SACK AND ASSOCIATES, INC.
 111 SOUTH PEOPLES
 TULSA, OKLAHOMA 74104-1816
 C-MAIL: SACKANDASSOCIATES.COM
 C.A. NO. 1763 (EXP. JUNE 30, 2007)

Subdivision Statistics
 SUBDIVISION CONTAINS 13 LOTS IN 1 BLOCK
 AND 1 RESERVE AREA
 BLOCK 1 CONTAINS 4,470 ACRES
 RESERVE AREA CONTAINS 0.0026 ACRES

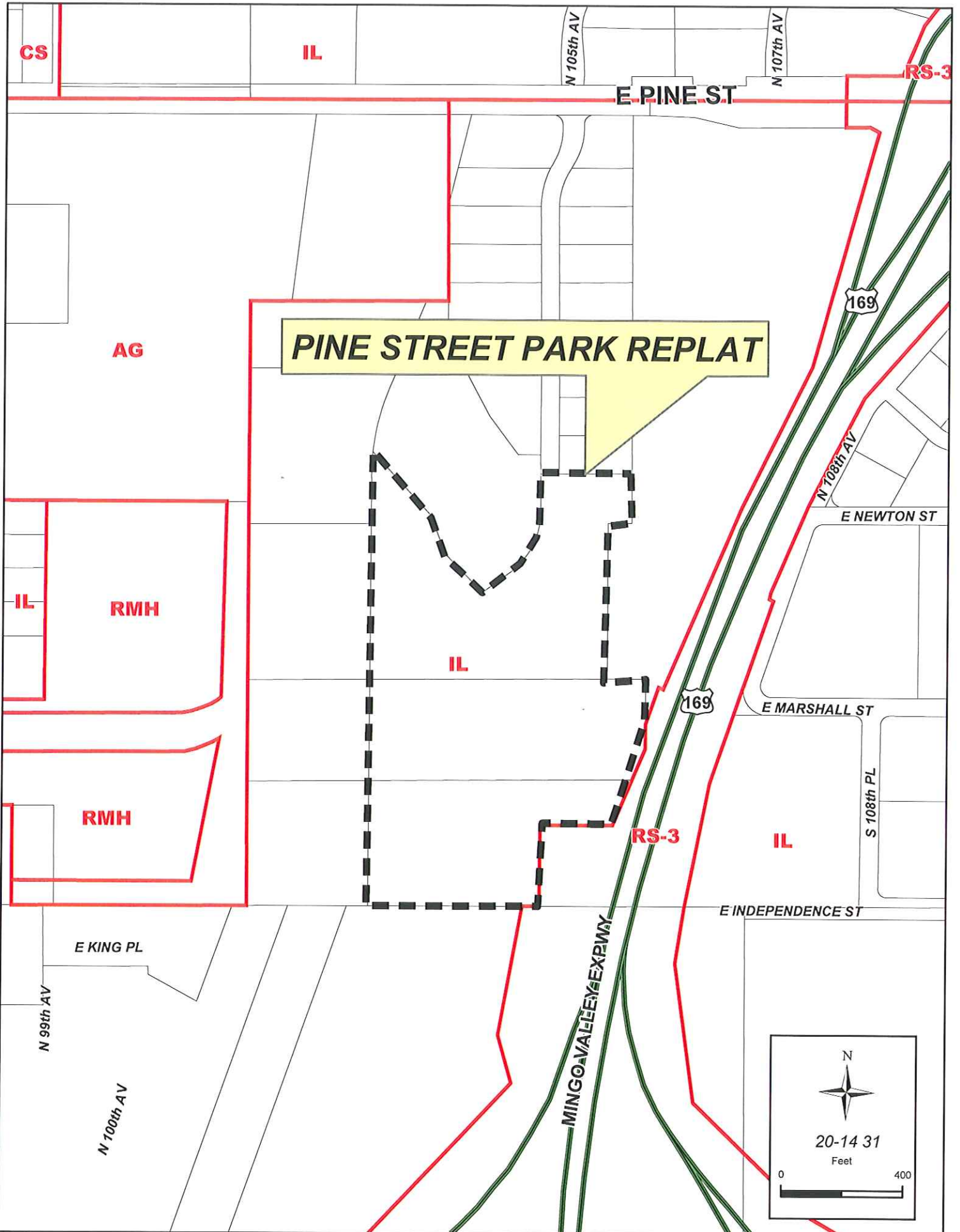
Basis of Bearings
 THE BEARINGS SHOWN HEREON ARE BASED ON THE
 NATIONAL GRID SYSTEM, NAD 83, HAVING AN ASSUMED
 BEARING OF S89°38'24.72"E.

Monumentation
 ALL CORNERS WERE SET USING A 3/8" x 1 1/2" IRON
 PIN WITH A YELLOW CAP STAMPED SACK L.S. 11307.

Legend
 [Symbol] METEORIC EVIDENCE
 [Symbol] EXISTING EASEMENT
 [Symbol] EXISTING ACCESS EASEMENT
 [Symbol] EXISTING EASEMENT
 [Symbol] EXISTING EASEMENT



RECEIVED
 OCT 2 2008
 TULSA COUNTY CLERK



14.1

E PINE ST

169

N 108th AV

E NEWTON ST

169

E MARSHALL ST

S 108th PL

E INDEPENDENCE

E KING PL

N 99th AV

N 100th AV

MINGO VALLEY EXPWY

Pine Street Park
Replat

N



20-14 31

Feet



Photo Date: March 2008

14.2

Final Subdivision Plat

Pine Street Park II Amended - (0431) (PD 18) (CD 6)
South of East Pine Street, between North Mingo Road and North Garnett

This plat consists of 20 Lots in 2 Blocks on 23.15 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.

RS-3

OL

PUD-230-8

PUD-230

AG

CS

OL

AG

CS

E 41st ST

AG

CS

RMH

CS

CS

CS

E 41st PL

E 42nd ST

PUD-155
E 42nd ST

RS-3

AG

S 106th AV

S 106th PL

S 107th AV

E 38th ST

S 103rd AV

S 704th AV

S 102nd AV

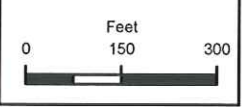
S 103rd AV

105th AV

MINGO VALLEY EXPWAY



19-14 19





169

MINGO VALLEY EXPWY



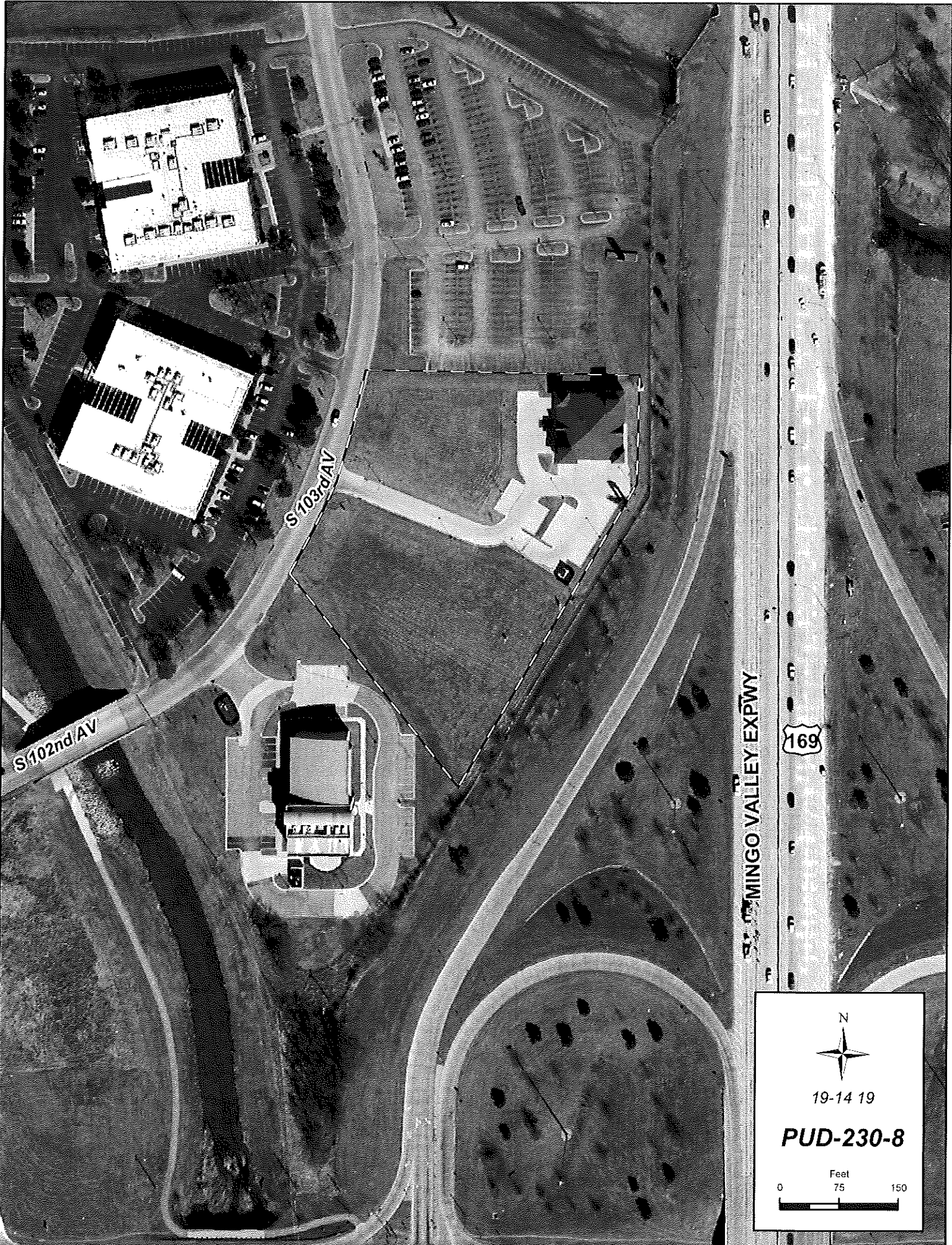
19-14 19

PUD-230-8

Feet

0 150 300





S102nd AV

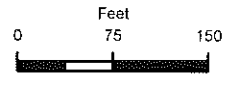
S103rd AV

MINGO VALLEY EXPWY



19-14 19

PUD-230-8



January 7, 2009

STAFF RECOMMENDATION

PUD-230-8: Minor Amendment – Northeast, of the northeast corner of S. 102nd East Ave. and 41st Street South – northwest corner of US 169 and 41st Street South; Lots 1 – 4, Block 1 – Tuscany Point; TRS 9419; CZM 49; Atlas 646; PD 17 CD 5; OL/PUD – PUD Development Area B, Tract B-1, tracts 1 - 4.

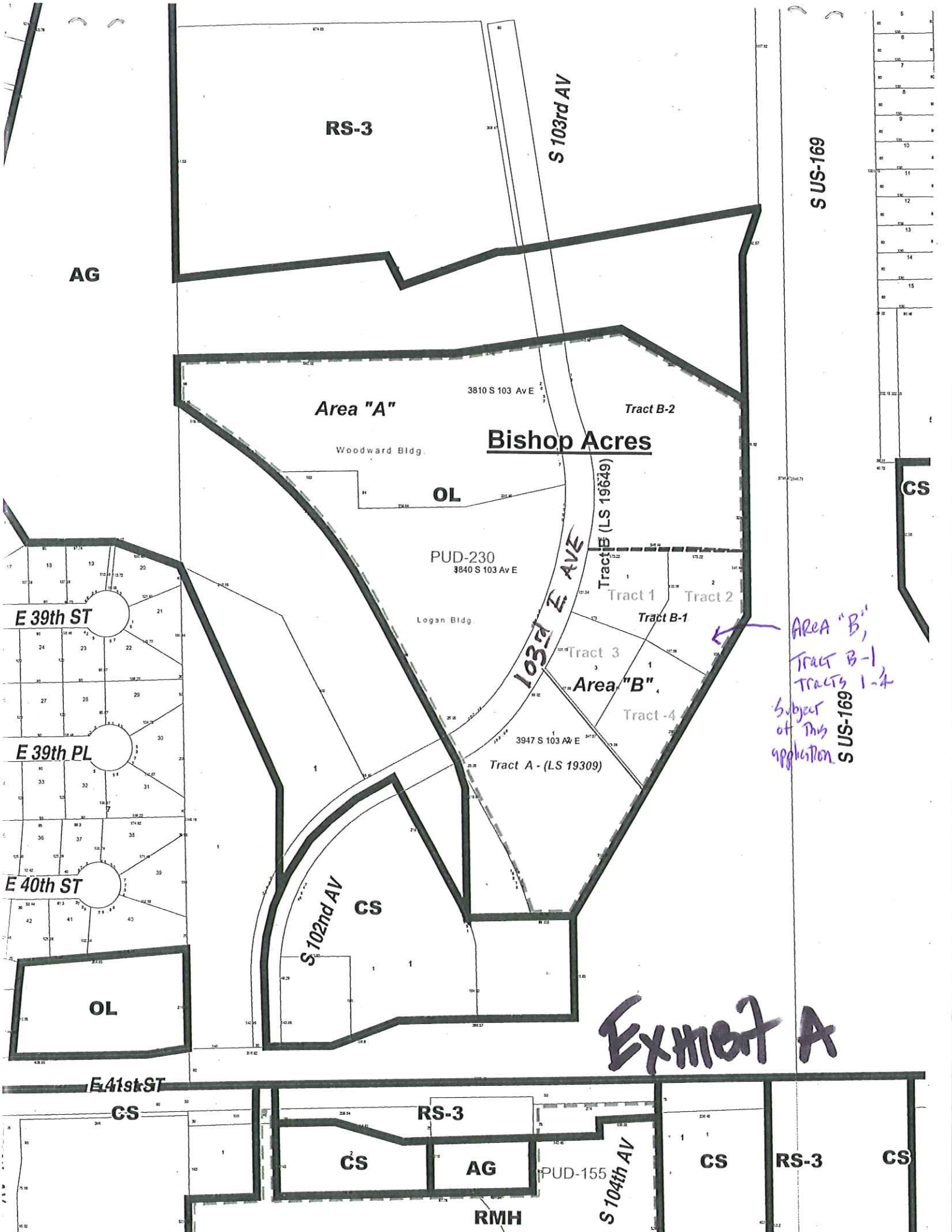
The applicant is requesting a minor amendment to reduce the required setback from internal PUD boundary/lot lines and development area boundaries from 50' to 10' for Development Area B, Tract B-1, Tracts 1 – 4 only (see Exhibit A).

Existing PUD development standards call for a 75' setback from the centerline of 103rd East Avenue; a 10' setback from US 169 ROW which also calls for an additional 2-foot of setback for each foot over 15-feet in height; and 50-feet from other property/boundary lines.

The original PUD approved in 1980 (Bishop Acres) had two development areas. They were divided by S. 103rd East Avenue, and are depicted as Development Areas A and B on the attached Exhibit A. The original PUD anticipated one six-story, 60,000 square foot (sf) office building in Development Area B and established appropriate setback requirements for that type of use. As time passed, development and market trends in the area dictated this type of development could not be accomplished. Subsequently, the original Development Area B of PUD-230 has been amended seven (7) times; each time adjusting development area boundaries, re-allocating permitted floor area within the new development areas and adjusting sign standards. While these amendments adjusted floor area allocations, building setback and sign standards, none of the amendments addressed the setback from internal development area boundary lines. Imposing a 75' setback from the centerline of 103rd East Ave. and a 50' setback from internal boundary lines of Tracts 1 – 4 makes the four tracts that comprise Tuscany Point as platted close to un-developable.

Staff concludes that the 50' setback requirement from internal boundary lines and development area boundaries was intended for a single user with a larger footprint and much taller building than is currently allowed. Therefore, staff recommends **APPROVAL** of minor amendment PUD-230-8 for Development Area B, Tract B-1, Tracts 1 -4 only. The 75-foot setback from the centerline of the street and the original setback from the US 169 ROW (10-feet, plus two additional feet of building setback for each foot over 15') remain effective.

Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.



S US-169

CS

Area "B",
Tract B-1
Tracts 1-4
Subject of this
application S US-169

Exhibit A

RS-3

AG

Area "A"

Bishop Acres

Tract B-2

Woodward Bldg.

3810 S 103 Av E

OL

PUD-230
3840 S 103 Av E

Logan Bldg.

103rd E AVE

Tract B (LS 19649)

Tract B-1

Tract 3

Area "B"

Tract -4

Tract A - (LS 19309)

3947 S 103 Av E

CS

S 102nd AV

E 41st ST

CS

RS-3

CS

AG

PUD-155

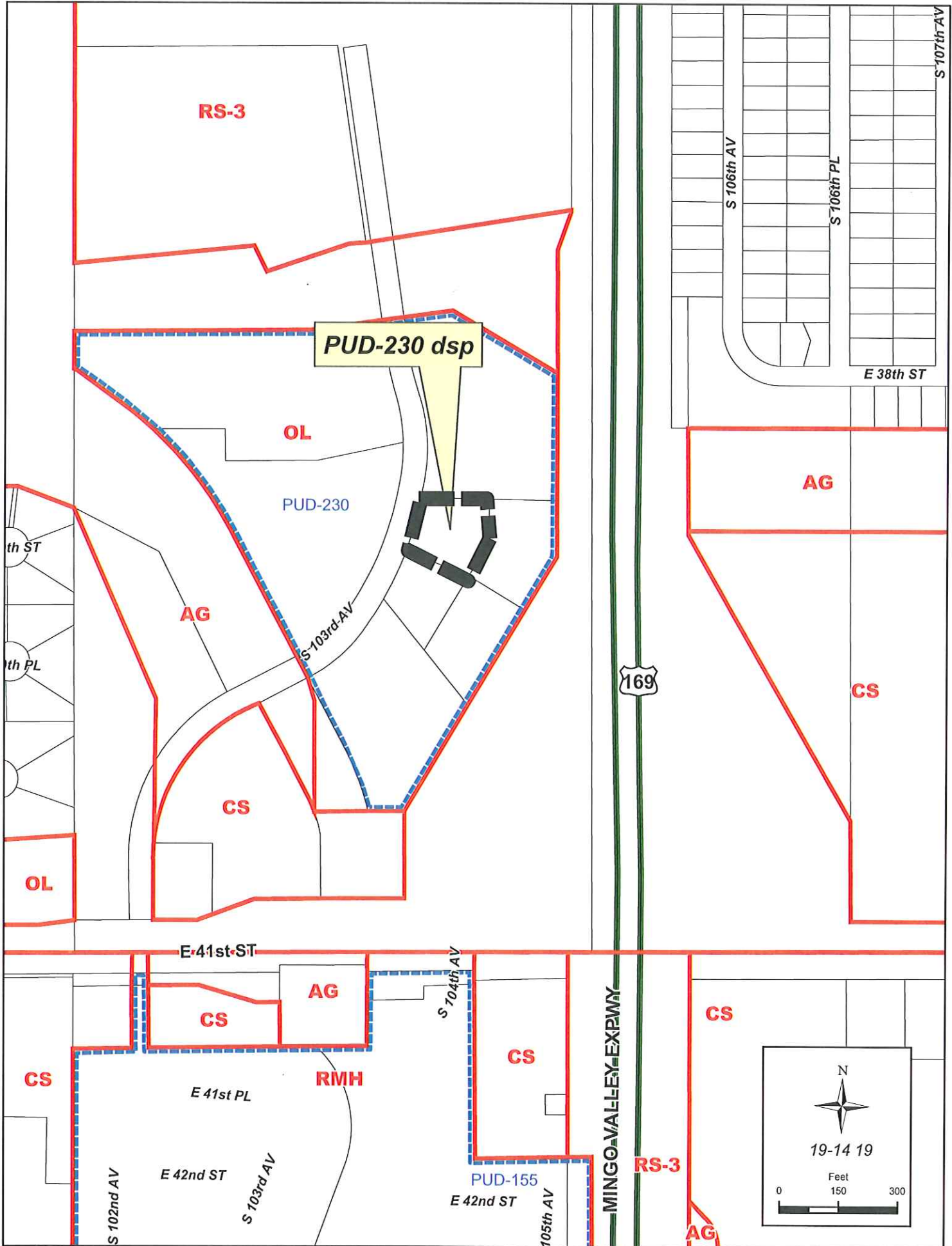
CS

RS-3

CS

RMH

S 104th AV



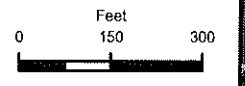


169



19-14 19

PUD-230-8






S 102nd AV

S 103rd AV

S 104th AV
MINGO VALLEY EXPWY

169


N



19-14 19

PUD-230 dsp

Feet
0 75 150



January 7, 2009

STAFF RECOMMENDATION

PUD-230

Detail Site Plan – Northeast, of the northeast corner of S. 102nd East Ave. and 41st Street South – northwest corner of US 169 and 41st Street South; Lot 1, Block 1 – Tuscany Point; TRS 9419; CZM 49; Atlas 646; PD 17 CD 5; OL/PUD.

The applicant is requesting approval of a detail site plan for a one-story, 4,995 square foot (sf) office building. The proposed use, Use unit 11 – Office, Studios and Support Services is a permitted use within PUD-230.

The submitted site plan meets all applicable building floor area, open space, building height and setback limitations. Parking has been provided per PUD development standards. Landscaping is provided per the landscape chapter of the Zoning Code and adopted PUD development standards. All sight lighting will be limited to 25-feet in height and will be directed down and away from adjoining properties. Associated with this detail site plan review is minor amendment PUD-230-8 which appears on the January 7, 2009 TMAPC agenda. This minor amendment request would allow the proposed 15' and 11.2' building setbacks along the north and east boundaries respectively. Staff has recommended approval of minor amendment PUD-230-8.

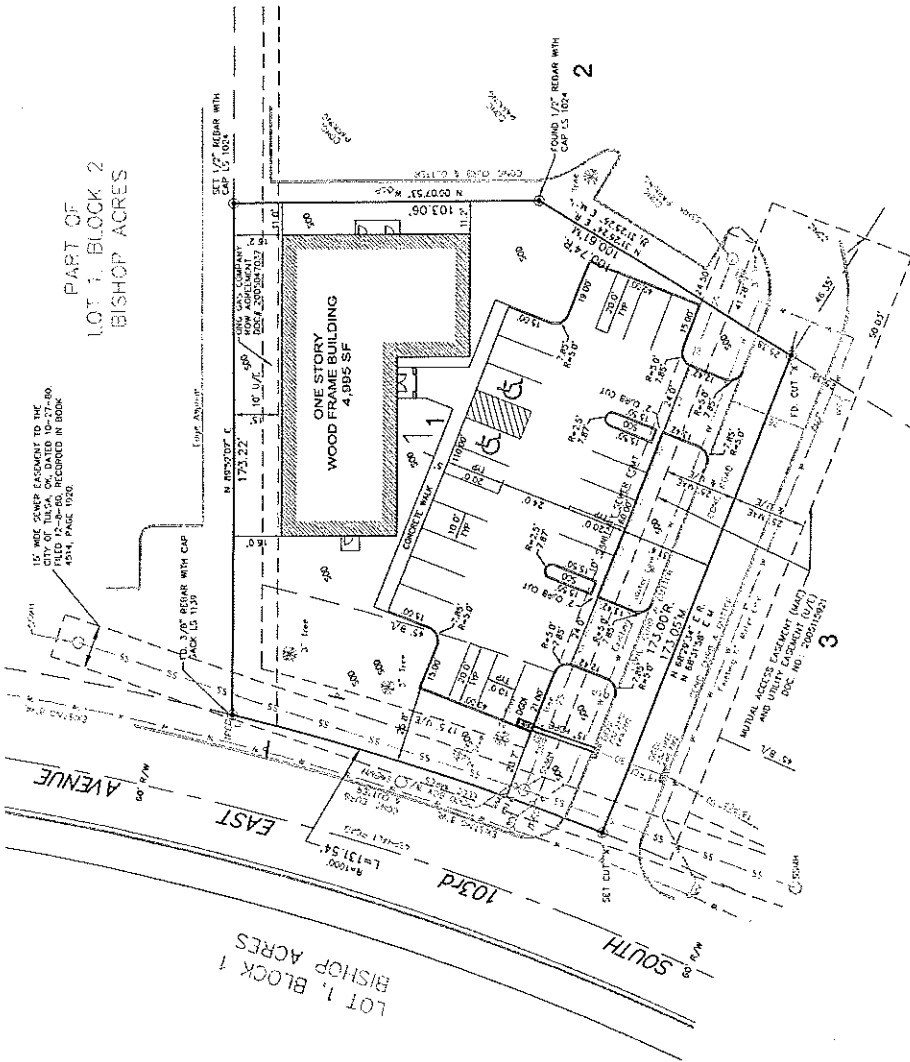
Staff recommends **APPROVAL** of the detail site plan for Lot 1, Block 1 – Tuscany Point, pending the concurrent approval of minor amendment PUD-230-8.

(Note: Detail site plan approval does not constitute landscape and sign plan approval.)

CONSTRUCTION CONTRACTOR
JACK REED CONSTRUCTION CO.
 10023 EAST 46TH PLACE
 TULSA, OKLAHOMA 74146
 PH (918) 694-7100

ENGINEER
BREISCH AND ASSOCIATES, INC.
 501 EAST ALLIANCE BOULEVARD
 SAND SPRINGS, OK. 74063
 PH (918) 245-9533
 CERTIFICATE OF AUTHORIZATION #6
 EXPIRES 6-30-10

PART OF
LOT 1, BLOCK 2
 BISHOP ACRES



FLOOD ZONE DESIGNATION
 UNSHADDED ZONE X AS SHOWN ON FEMA FIRM PANEL #44040202A, DATED APRIL 16, 2003, TULSA COUNTY, OKLAHOMA. FLOOD ZONE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BASES OF BEARINGS
 BEARINGS BASED ON THE RECORD DEARING ALONG SECTION 19, T-19-N, R-14-E, CITY OF TULSA, TULSA COUNTY, OKLAHOMA. ELEVATION = 654.30.

SITE BENCHMARK
 NORTH EDGE SOUTHWEST CORNER MANHOLE RIM
 NORTH EDGE SOUTHWEST CORNER PROPERTY,
 CORNER AND 40' EAST OF 103RD EAST AVENUE.
 ELEVATION = 654.30.



SHEET	DESCRIPTION
1	SITE PLAN (COVER SHEET)
2	GRADING AND EROSION CONTROL PLAN
3	EROSION CONTROL DETAILS
4	LANDSCAPE PLAN

Detail Site Plan:

- PUD #200 Development Area: 31
- Permitted Uses: OL
- Proposed Uses: OL
- Maximum Bldg. Floor Area Permitted: 11,890 S.F.
- Bldg. Floor Area Proposed for Each Unit: 4,995 S.F.
- Maximum Bldg. Height Permitted: 8 STORY
- Maximum Bldg. Height Proposed: SINGLE STORY
- Minimum Bldg. setbacks Required: 70' FROM 103RD E.AVE., 19' PLUS 2' FOR EVERY ONE FOOT OVER 15' (from centerline of adjacent streets) and PUD and/or Development Area boundaries)
- Off Street Parking:
 - Ratio Per Use 3.0 SPACES FOR EVERY 1,000 S.F.
 - Number of Spaces required per Use 18
 - Total Number of Spaces required 18
 - Total Number of Spaces proposed 22
- Minimum Penetration and Compensating Landscaped Area Required: 18%, 5,442 S.F.
- Minimum Percentage and Compensating Landscaped Area Provided: 41%, 12,251 S.F.
- Required Street Front per Street Frontage Requirements: 1477 SF Proposed: 5,185 S.F.
- Lighting Height for Parking Areas: 20'
- Maximum Height Permitted: 25' - Height Proposed: 20'

LOCATION MAP - SECTION 19
 NOT TO SCALE

GENERAL NOTES

- CONTRACTOR SHALL OBTAIN THE NOTIFICATION CENTER OF THE OKLAHOMA ONE-CALL CENTER (800-368-5848) AND NOTIFY ALL UTILITIES (800-368-5848) AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK. PHONE 1-800-527-4543.
- ALL ELEVATIONS SHOWN ARE BASED ON NGS (FORSYTH USG AND CO) DATUM.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. REPAIR OF ANY UTILITY DAMAGED DURING CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ENGINEER WILL PROVIDE BASE LINE FOR HORIZONTAL AND VERTICAL CONTROL. CONTRACTOR SHALL BEAR COST FOR CONSTRUCTION STAKING.
- ALL CONSTRUCTION SHALL BE DONE STRICTLY IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY OF SAND SPRINGS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BEAR THE COST OF ALL NECESSARY TESTING AND SHALL SUPPLY THE ENGINEER WITH COPIES OF ALL TEST RESULTS.
- CONTRACTOR SHALL PROVIDE THE ENGINEER WITH WRITTEN CERTIFICATION THAT ALL MATERIALS AND METHODS FOR THE PROJECT MEET THE MINIMUM REQUIREMENTS OF THE PLANS & SPECIFICATIONS.
- AREAS TO BE GRADED SHALL BE STAKED BY PERSON TO A DEPTH OF 3 INCHES OR AS NECESSARY TO REMOVE ALL VEGETATION. TOPSOIL SHALL BE STOCKPILED IN A LOCATION AND MANNER AS DIRECTED BY THE ENGINEER.
- AREAS TO BE FILLED, AFTER TOPSOIL IS REMOVED, SHALL BE DOCKED TO A DEPTH OF 6 INCHES AND RECOMPACTED BEFORE PLACING FILL MATERIAL. FILL MATERIAL SHALL BE PLACED IN 6" TO 8" LAYER THICKNESS BEFORE COMPACTION.
- ALL STAKING CONSTRUCTION AND CURBING AND RAILROAD TRACKS SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF SAND SPRINGS SPECIFICATIONS. THE CURBS FOR ALL AREAS WITHIN THE RIGHT-OF-WAY DISTURBED BY GRADING OPERATIONS.
- A COPY OF ALL NECESSARY PERMITS SHALL BE KEPT ON THE CONSTRUCTION SITE DURING THE PERIOD OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE STRAW BALE DICES AND/OR SILT FENDING TO PREVENT EROSION AND SEDIMENTATION FROM PROJECT SITE, LEADING THE LAKE, STREAMS, RIVERS AND NEARBY WATERWAYS. CONTRACTOR SHALL PROVIDE A STORM WATER SYSTEM.
- ALL DISTURBED AREAS NOT UNDER BANNING OR BUILDING & CONSTRUCTION SHALL BE REVEGETATED. CHANNELS AND DETENTION PONDS SHALL BE LINED WITH 100 LB. GEOTEXTILE AS NECESSARY UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM SITE AT HIS COST. THIS WORK SHALL BE INCLUDED IN OTHER ITEMS OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AND ALL TEMPORARY CONSTRUCTION STAGING.

COVER SHEET (SITE PLAN)

TUSCANY POINT LOT-1 BLOCK-1

REED TRACT

CITY OF TULSA, OKLAHOMA

PREPARED BY BREISCH & ASSOCIATES, INC.

DATE: OCTOBER 2008

SCALE: AS SHOWN

PROJECT NO. 08080001

DATE OF ISSUE: 10/20/08

DATE OF REVISION: 10/20/08

DATE OF REVISION: 10/20/08

DATE OF REVISION: 10/20/08

DATE OF REVISION: 10/20/08

DATE OF REVISION: 10/20/08

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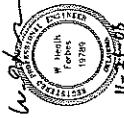
DATE OF REVISION: 10/20/08

DATE OF REVISION: 10/20/08

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DATE OF REVISION: 10/20/08



11-27-08

2/28/23



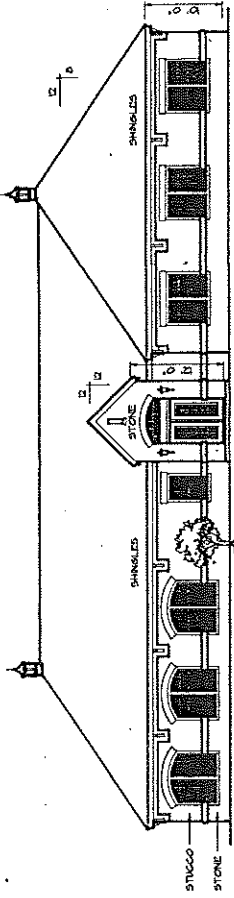
2400 N. ROANOKE ST.
BROKEN ARROW, OKLAHOMA 74011
FAX: 405-451-4950

BAKER AT TUSCANY-POINTE
RICHARD J. HALL, ARCHITECT
405-455-5554

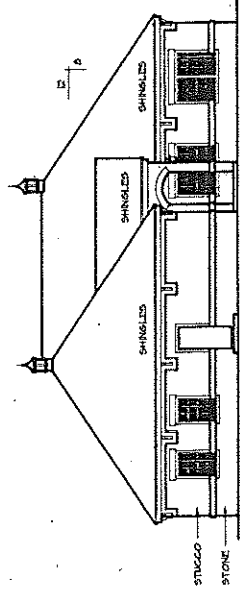


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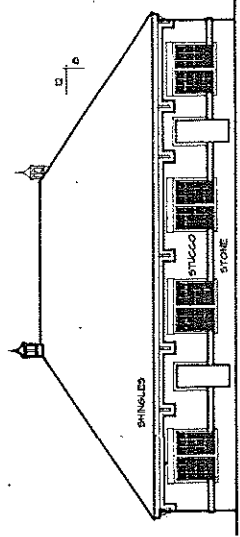
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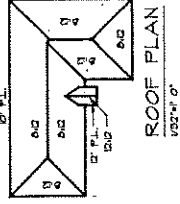
FRONT ELEVATION
1/8"=1' 0"



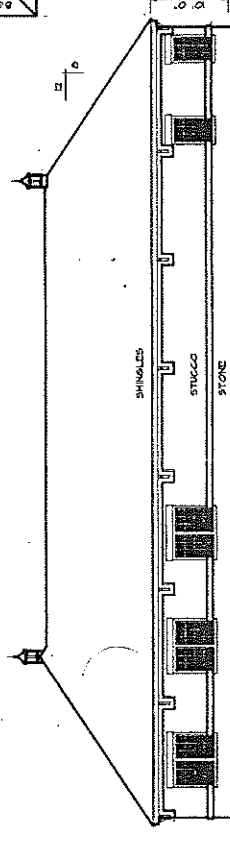
LEFT SIDE
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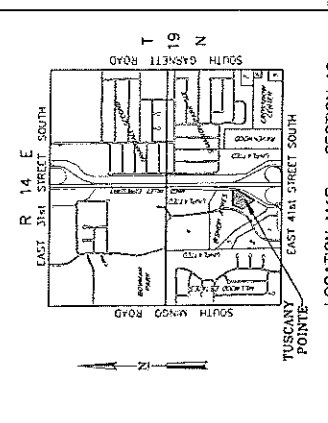
RIGHT SIDE
1/8"=1' 0"



ROOF PLAN
1/32"=1' 0"



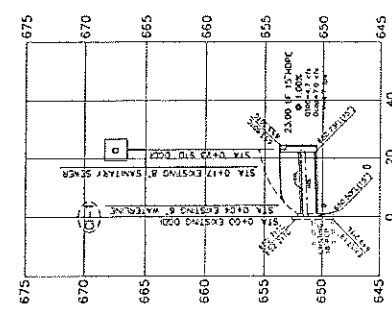
REAR
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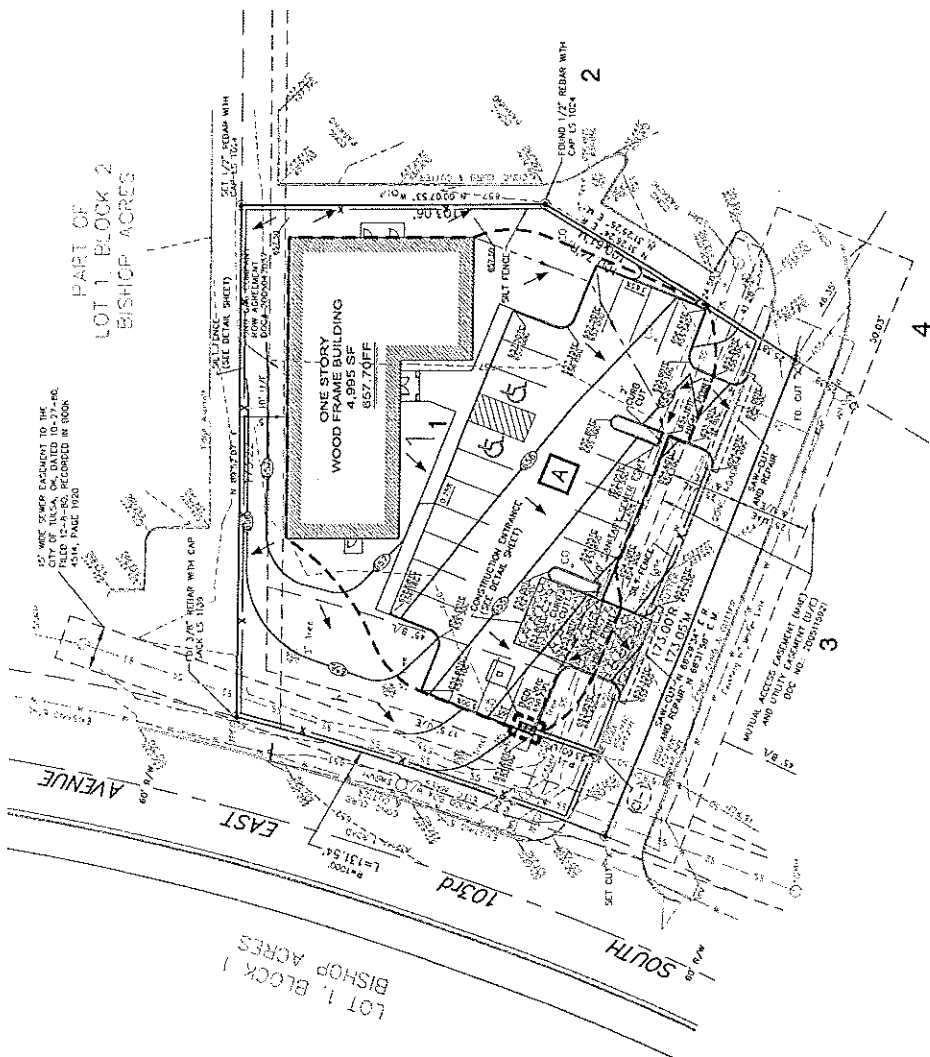
LOCATION MAP - SECTION 19
NOT TO SCALE



- LEGEND**
- EXISTING CONTOUR
 - DRAINAGE AREA BOUNDARY
 - TIME OF CONCENTRATION
 - SALT FENCE
 - INLET SEDIMENT TRAP
 - FLOW DIRECTION
 - EXISTING ELEVATION
 - PROPOSED ELEVATION
 - TOP OF CURB
 - TOP OF PAVEMENT
 - GUTTER
 - DRAINAGE AREA LABEL



STORM SEWER PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



**TUSCANY POINTE LOT 1 BLOCK 1
STORM SEWER SUMMARY CHART**

PIPE ID	TYPE	DIAMETER (IN)	LENGTH (FT)	START ELEVATION (FT)	END ELEVATION (FT)	VELOCITY (FPS)	TIME (MIN)
101	12" DIA.	12.00	41.1	652.7	652.7	0.00	0.00
102	12" DIA.	12.00	41.1	652.7	652.7	0.00	0.00

**TUSCANY POINTE LOT 1 BLOCK 1
DRAINAGE & INLET SUMMARY TABLE**

DRAINAGE AREA	INLET NAME	AREA (ACRES)	VALUE	REACH GRASS (FT)	SLOPE GRASS (%)	VELOCITY (FPS)	GRASS (FPS)	REACH PAVING (FT)	SLOPE PAVING (%)	VELOCITY (FPS)	PAVING (FPS)	TIME (MIN)	TIME (MIN)	TIME (MIN)	TIME (MIN)	TIME (MIN)	TIME (MIN)
1	INLET NAME	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

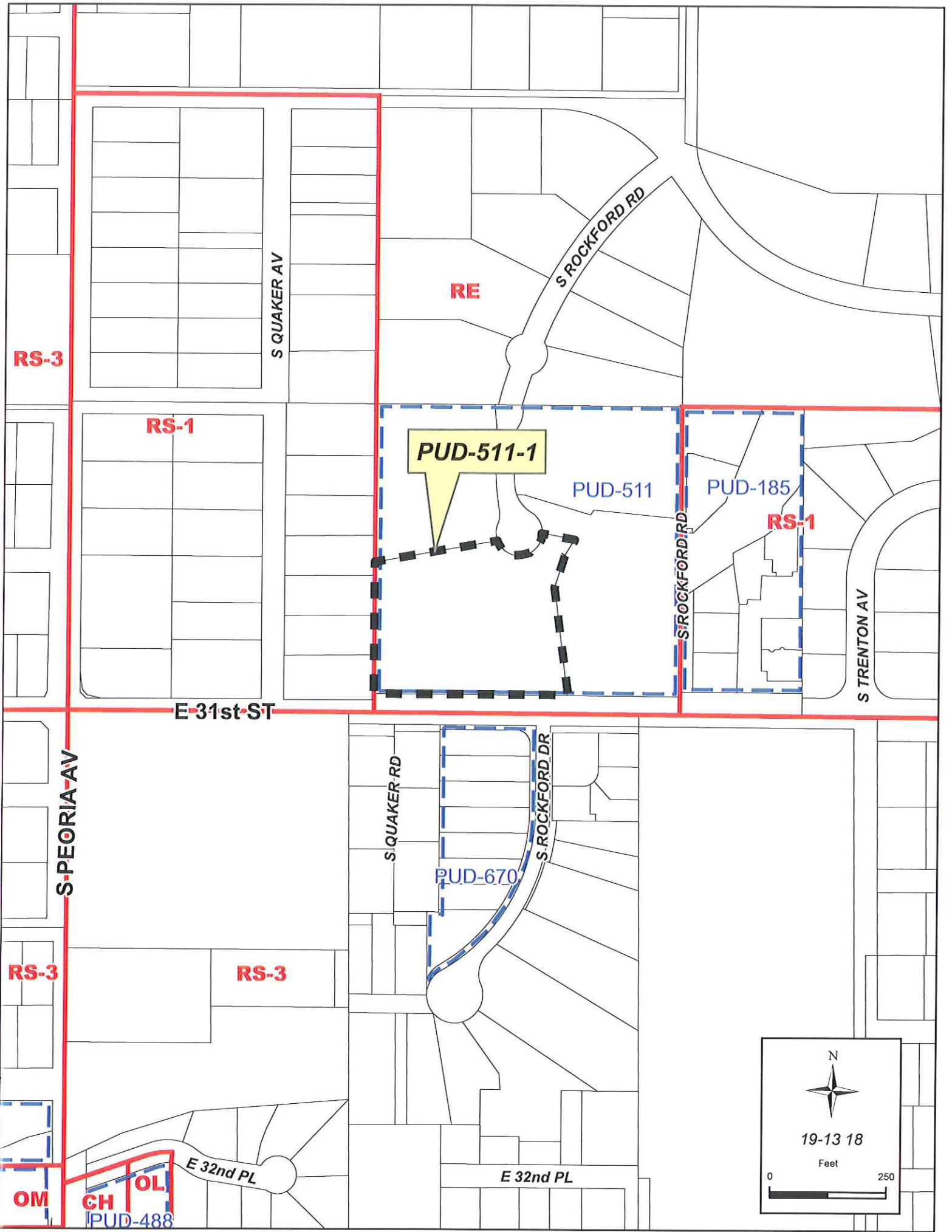


GRADING AND EROSION CONTROL PLAN
TUSCANY POINTE LOT-1 BLOCK-1
REED TRACT
CITY OF TULSA, OKLAHOMA
BREISCH & ASSOCIATES INC.

NO.	DATE	BY	REVISION
1	11-20-07	WHEATH	PRELIMINARY
2	11-27-07	WHEATH	REVISED
3	11-27-07	WHEATH	REVISED
4	11-27-07	WHEATH	REVISED
5	11-27-07	WHEATH	REVISED
6	11-27-07	WHEATH	REVISED
7	11-27-07	WHEATH	REVISED
8	11-27-07	WHEATH	REVISED
9	11-27-07	WHEATH	REVISED
10	11-27-07	WHEATH	REVISED



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SPEORIA AV

E 31st ST

E 32nd PL

E 32nd PL

SQUAKER AV

SQUAKER RD

S ROCKFORD DR

S ROCKFORD RD

S ROCKFORD RD

S TRENTON AV

PUD-511-1

N



19-13 18

Feet



Photo Date: March 2008




SQUAKER RD

S ROCKFORD DR

PUD-511-1

N



19-13 18

Feet

0 100

Photo Date: March 2008

January 7, 2009

STAFF RECOMMENDATION

PUD-511-1: Minor Amendment – east of the northeast corner of 31st Street and Peoria Avenue; Lots 3 and 4, Block 1 – Helmrich Estates; TRS 9318; CZM 37; Atlas 138; PD 6 CD 9; RE/PUD.

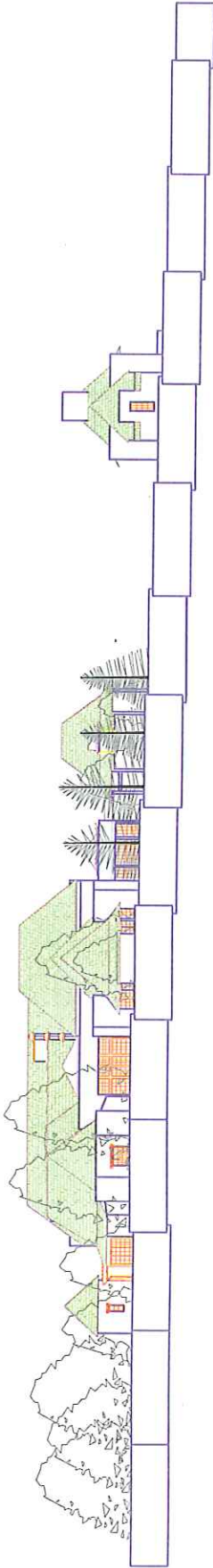
The applicant is requesting a minor amendment to decrease the building setback from the centerline of 31st Street from 85' to 70'; and a minor amendment request to increase the maximum permitted height of a privacy wall/fence from 8' to 10'.

When PUD-511 was originally approved in 1994 31st Street was classified by the City of Tulsa Traffic Engineering as a secondary arterial street with a 100-foot wide ROW. The PUD setback from 31st Street was therefore established at 85-feet from the centerline of the street - 50 feet for ½ the ROW plus 35-feet required as the setback from an arterial street by the underlying RE District. Since the original approval of the PUD, 31st Street has been reclassified as an urban arterial street reducing the ROW width to 70-feet. As a note, within the vicinity of the subject tract (from Peoria Avenue to Utica Avenue) the City of Tulsa Board of Adjustment (BOA) has granted 5 variances reducing the required setback from the centerline of 31st Street. Since the house will continue to meet the 35' setback requirement from the 31st Street ROW staff can support this request.

The applicant is also requesting an increase in the maximum allowable height for a screening/privacy wall from 8' to 10'. Within the vicinity of the subject tract and along 31st Street (from Peoria Avenue to Utica) relief has been granted twice with respect to fence/wall height. The BOA permitted an increase for a wall along 31st Street up to 8.5' citing the varying topography of the project location on a tract located immediately east of the southeast corner of 31st Street and Rockford. The BOA also granted an increase to 6' for a fence located along Quaker Avenue in the front yard of a house on the northeast corner of 31st Street and Quaker Avenue. To staff's knowledge, there has never been a request for relief, or relief granted to allow a 10' high masonry wall along the 31st Street ROW. Citing precedence staff does not support this request.

Therefore, staff recommends **APPROVAL** of the request to reduce the required setback from the centerline of 31st Street from 85-feet to 70-feet, and **DENIAL** of the request to increase the maximum permitted height of a masonry wall/fence from 8' to 10' on Lots 3 and 4, Block 1 – Helmrich Estates/PUD-511.

Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.



South Wall Elevation
Adjacent to East 31st Street South

Exhibit B
**Helmerich Estates
Lots 3/4, Block 1**

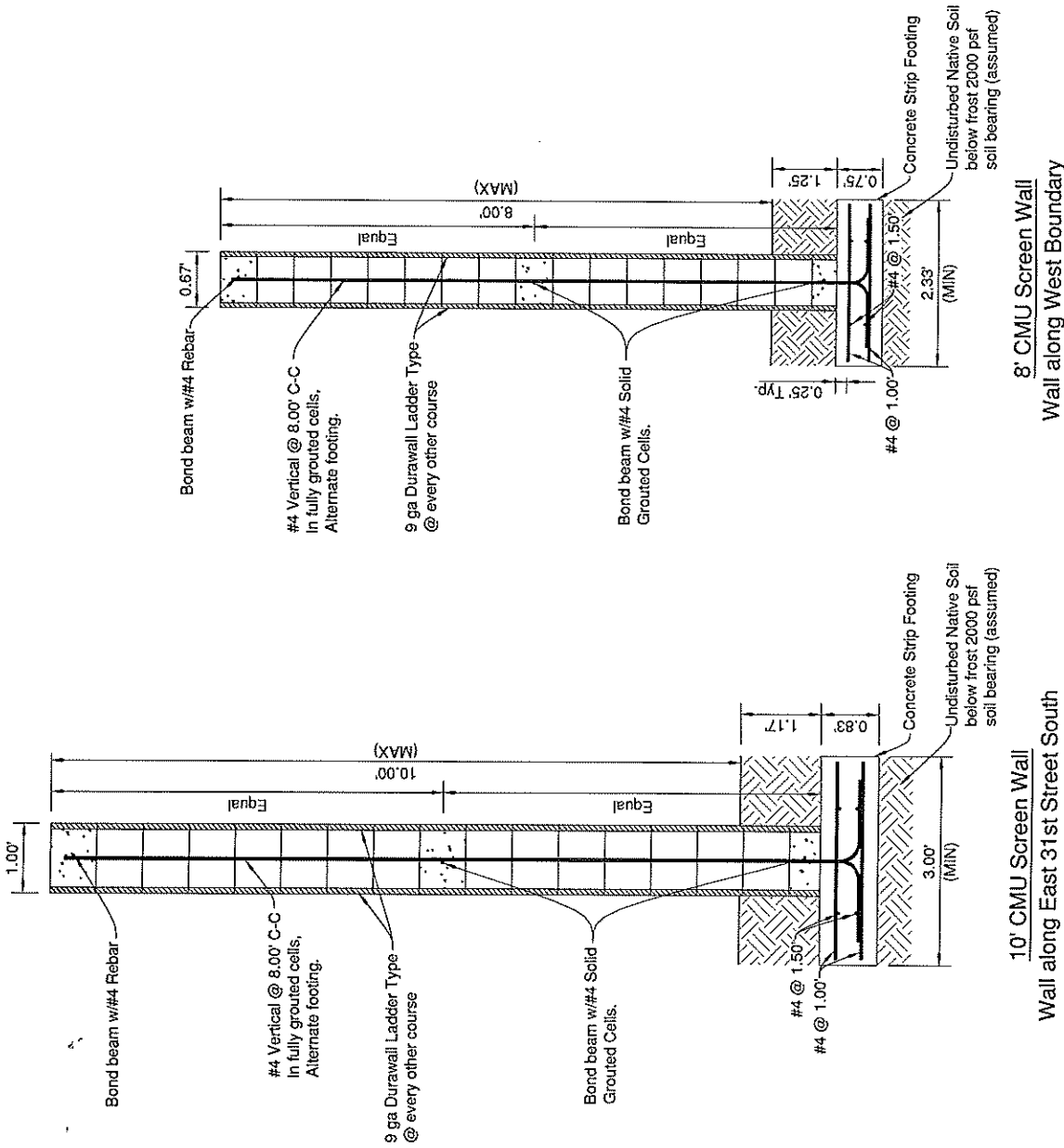
Wall Elevations &
Cross-Sections

G:\08-06\Misc\Exhibit B (Wall Elevations).dwg, 12/09/2008 - 9:35 AM

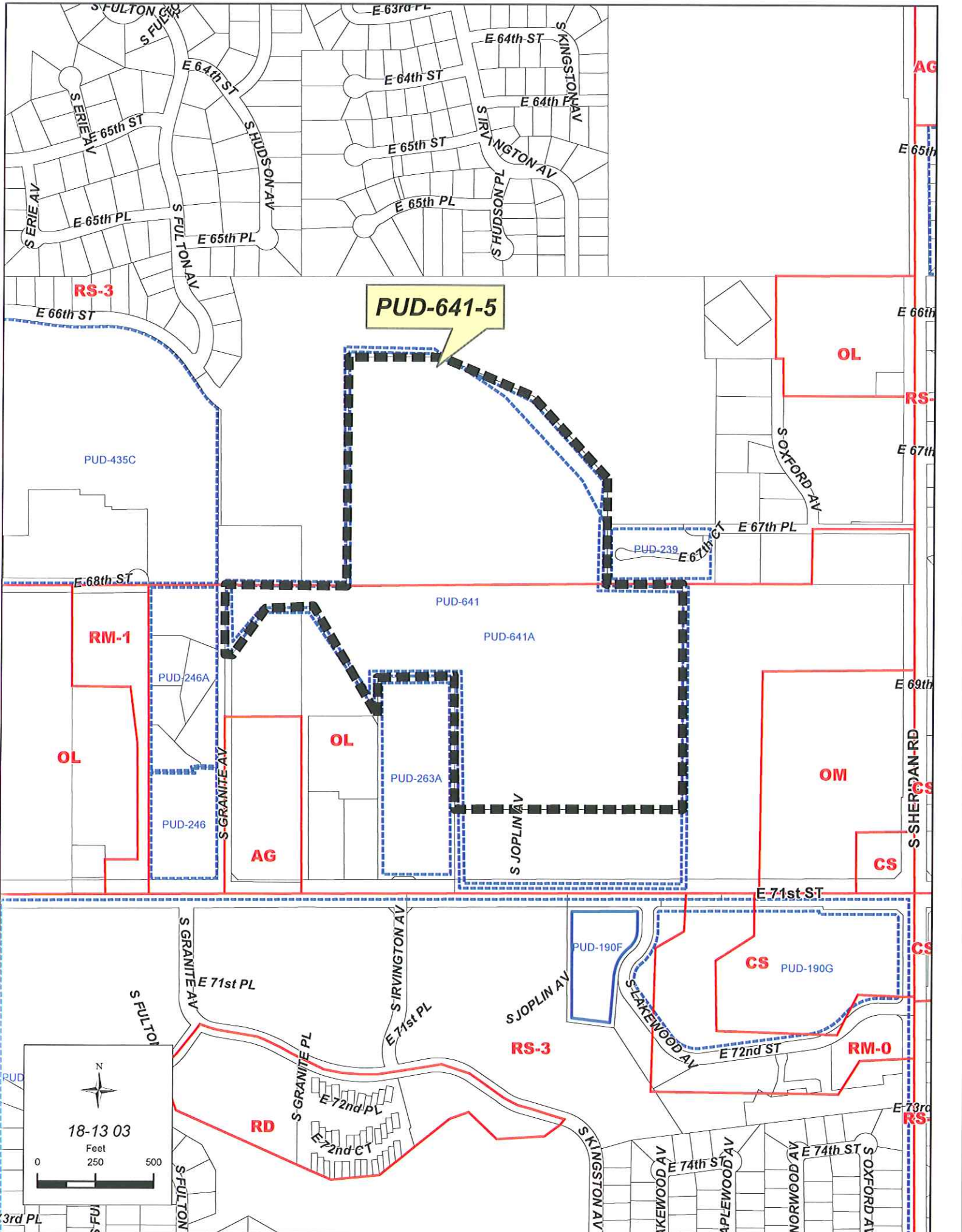
Exhibit C
**Helmerich Estates
 Lots 3/4, Block I**

Wall Cross-Sections

G:\08-064\Micro\Revised Footprint & Wall Cross-Sections Exhibit.dwg, 12/08/2008 - 9:33 AM



Wall Cross-Section



PUD-641-5

RS-3

PUD-435C

OL

E 66th

RS-

E 67th

E 68th ST

PUD-641

PUD-641A

PUD-239

E 67th PL

RM-1

PUD-246A

OL

PUD-263A

E 69th

OL

PUD-246

AG

S JOPLIN AV

OM

CS

S SHERIDAN RD

E 71st ST

PUD-190F

CS

PUD-190G

CS

S FULTON

S GRANITE AV

E 71st PL

S IRVINGTON AV

E 71st PL

RS-3

S JOPLIN AV

S LAKEWOOD AV

E 72nd ST

RM-0

E 73rd

RS-



18-13 03

Feet



E 73rd PL

S FU

S FULTON

S GRANITE PL

E 72nd PL

E 72nd CT

S IRVINGTON AV

S KINGSTON AV

S LAKEWOOD AV

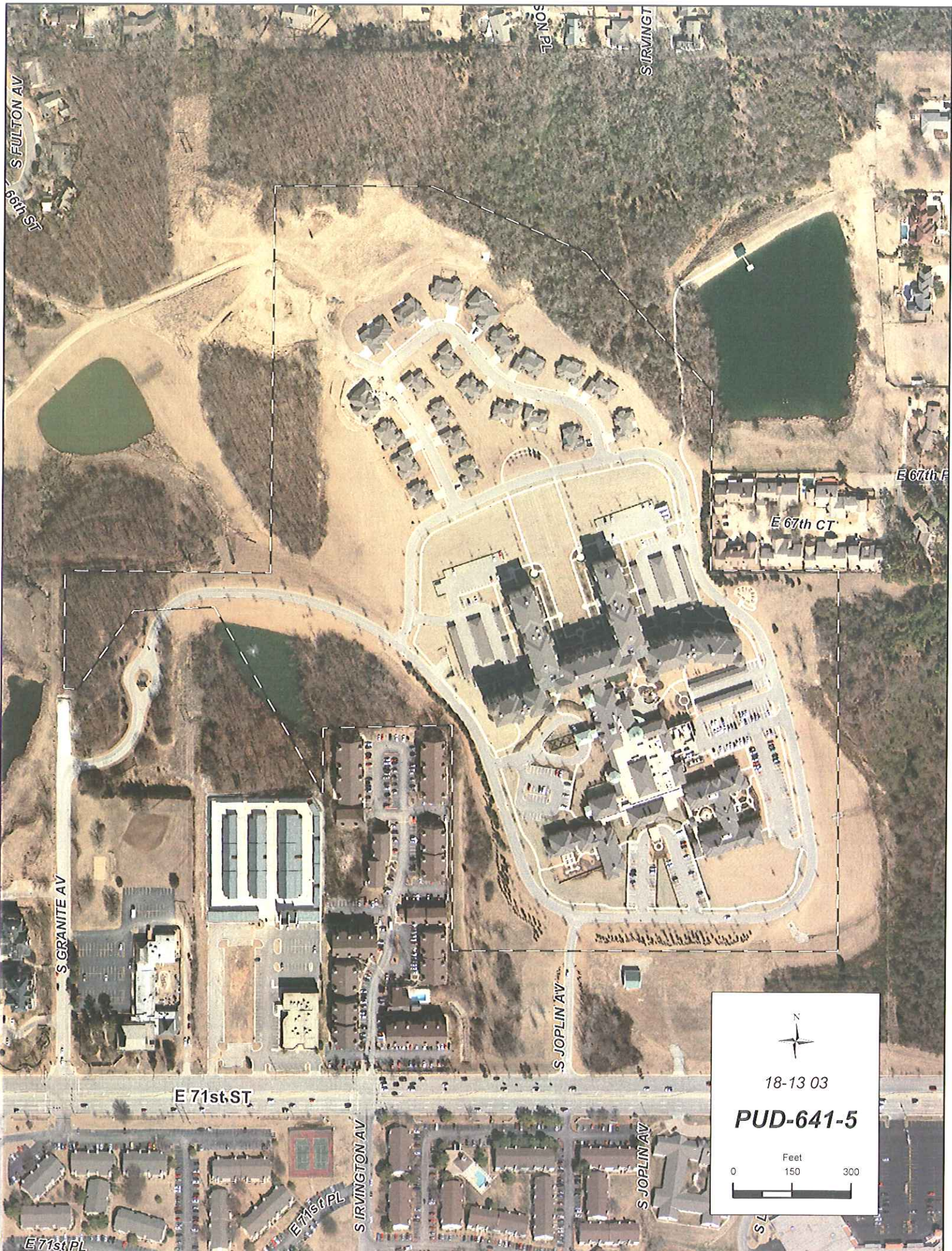
E 74th ST

S APPLEWOOD AV

NORWOOD AV

E 74th ST

S OXFORD AV



S FULTON AV
66th ST

SON PL
S IRVINGT

E 67th P

E 67th CT

S GRANITE AV

E 71st ST


S JOPLIN AV


S IRVINGTON AV

S JOPLIN AV

E 71st PL

E 71st PL

N

 18-13 03
PUD-641-5

Feet
 0 150 300


January 7, 2009

STAFF RECOMMENDATION

PUD-641-5: Minor Amendment – West of the northwest corner of 71st Street South and Sheridan Road; Lot 1, Block 1 – Montereau in Warren Woods; TRS 8303; CZM 53; Atlas 1001; PD 18 CD 7; RS-3/OL/PUD.

The applicant is requesting a minor amendment to reduce the required setback for single story structures within Development Area A only, from 50' to 20'. Specifically, the request is for a reduction of setback for single-story structures located along the western 390' of the northern most property line and along the northern most 410' of the west property line (see Exhibits B and C).

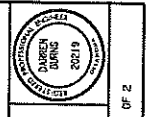
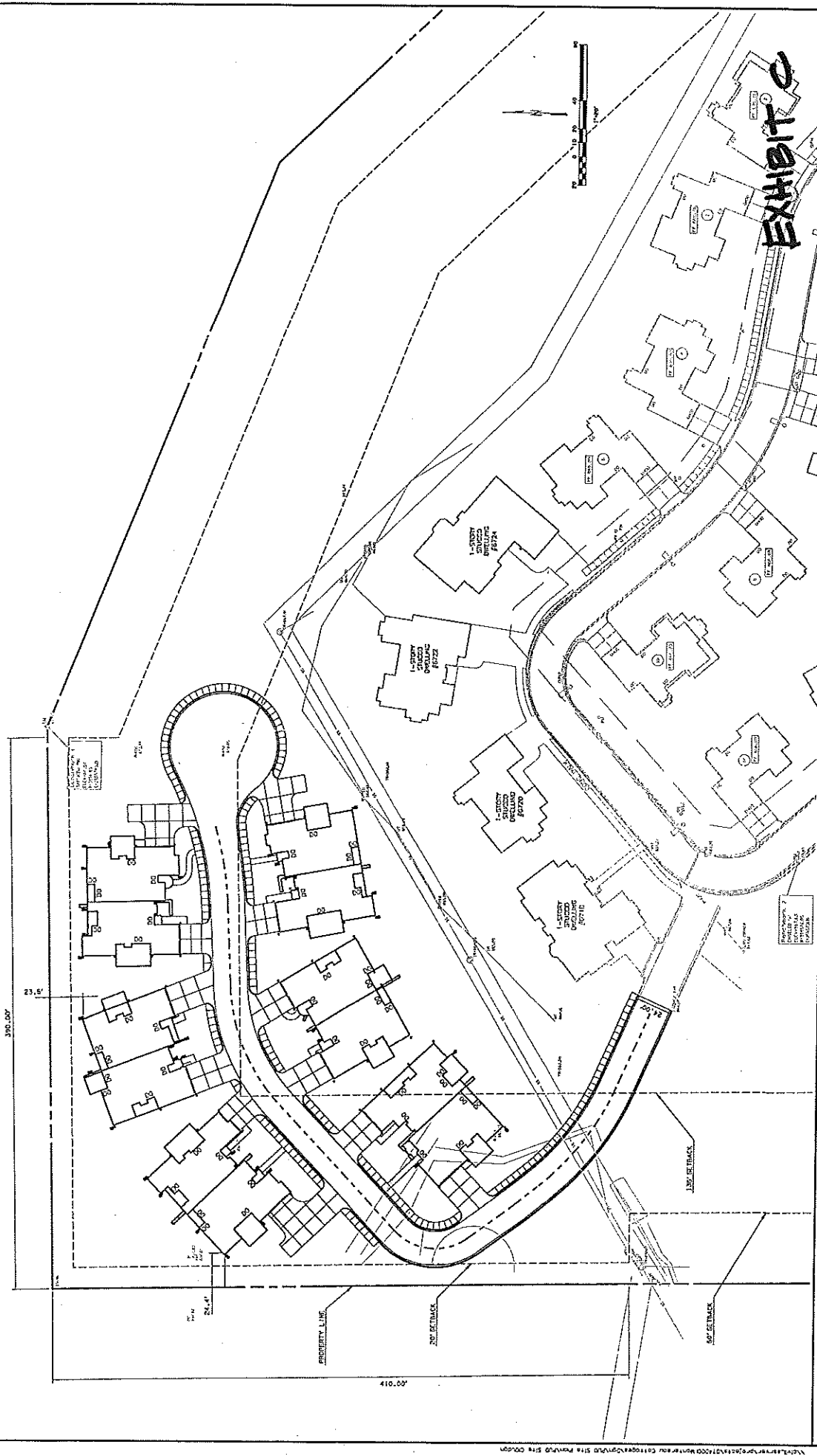
Montereau in Warren Woods is a retirement and senior care facility with dwellings that range from independent single-family residential units and single family-two unit structures, to multi-floor, residential multi-occupancy partial care dwellings to full care facilities.

The property immediately adjacent to the north and west of the subject tract which would be most directly affected by a reduction in setback is unplatted and undeveloped property, zoned AG. The adjacent property is also owned by the William Warren Medical Research Foundation, the owner of the subject tract. There is a 17.5 utility easement that would not be affected by a reduction in setback.

Staff can support this request since the request being made is for the rear yard setback of single story structures only. The underlying RS-3 zoning would permit these dwellings to be within 20-feet of the rear property line (section 403 of the Code). If the property to the north were to develop as single family residential, these structures would be no closer to the rear property line than straight RS-3 zoning would permit.

Since the request is for single story residential structures only and is seeking to reduce the rear setback to what the underlying RS-3 zoning would permit, staff recommends **APPROVAL** of minor amendment PUD-641-5, reducing the rear setback for single-story structures only along the western 390' of the northern most property line and along the northern most 410' of the west property line.

Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.



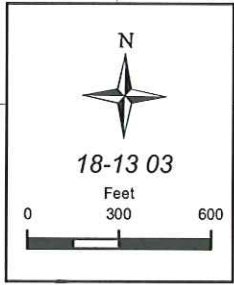
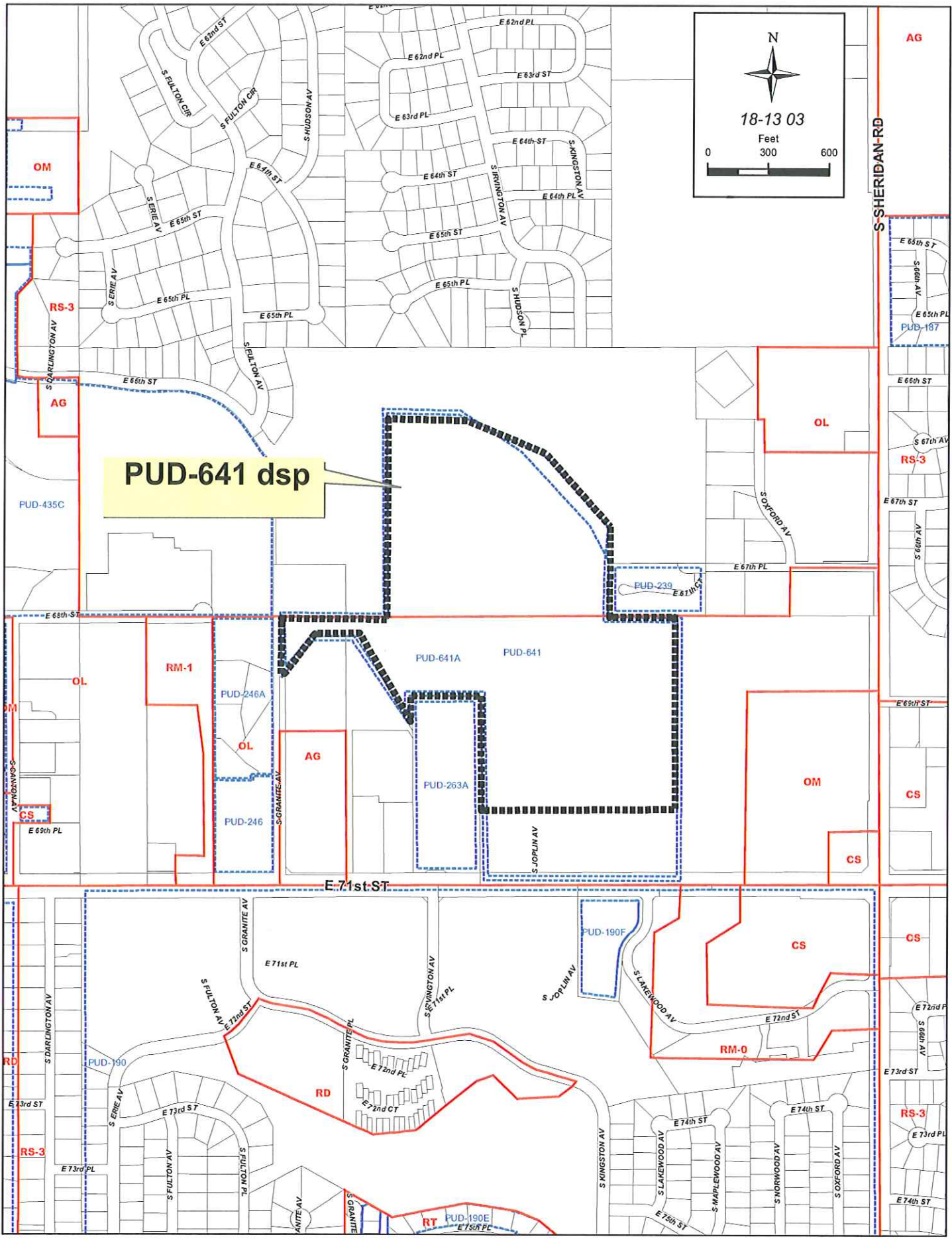
PUD SITE PLAN
C101

PROJECT NO. 0740001
SHEET NO. 2 OF 2

BEFORE CONSTRUCTION CALL BEFORE YOU DIG

CAUTION
NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA AND SHOULD BE VERIFIED BY THE CONTRACTOR AND NEIGHBORING UTILITIES COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS A GUARANTEE OF ACCURACY. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

REV	DATE	DESCRIPTION



PUD-641 dsp

S-SHERIDAN-RD

AG

OM

RS-3

AG

PUD-435C

OL

RS-3

E 67th ST

S 66th AV

E 67th ST

E 69th ST

CS

CS

E-71st-ST

PUD-641A

PUD-641

PUD-246A

OL

AG

PUD-263A

S JOPLIN AV

OM

CS

CS

CS

RM-0

E 72nd ST

E 73rd ST

E 73rd PL

E 74th ST

RD

RS-3

RD

PUD-190E

E 75th PL

AV 40th S

E 73rd ST

E 74th ST

E 74th ST


E 74th ST

E 74th ST

E 74th ST

E 74th ST

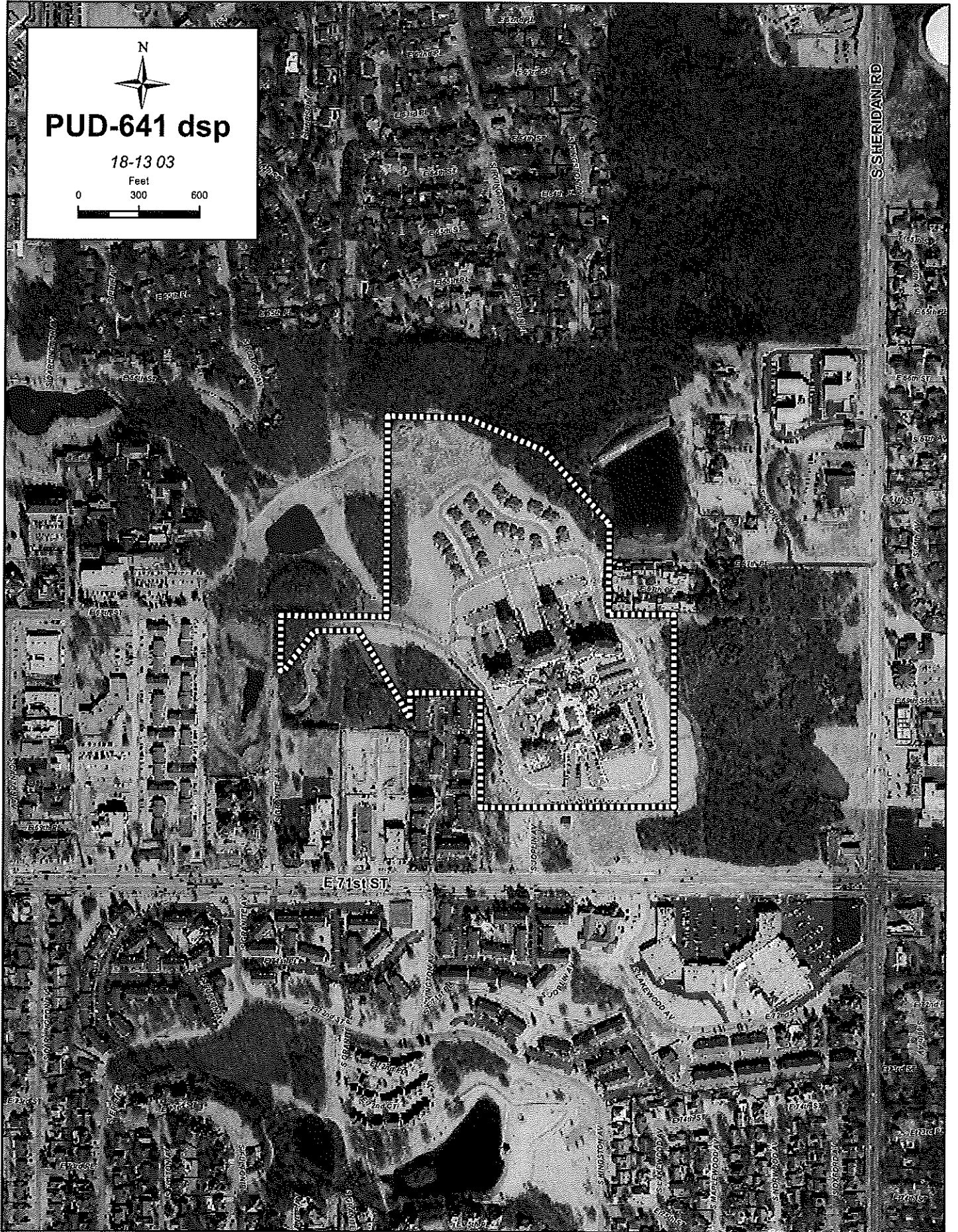

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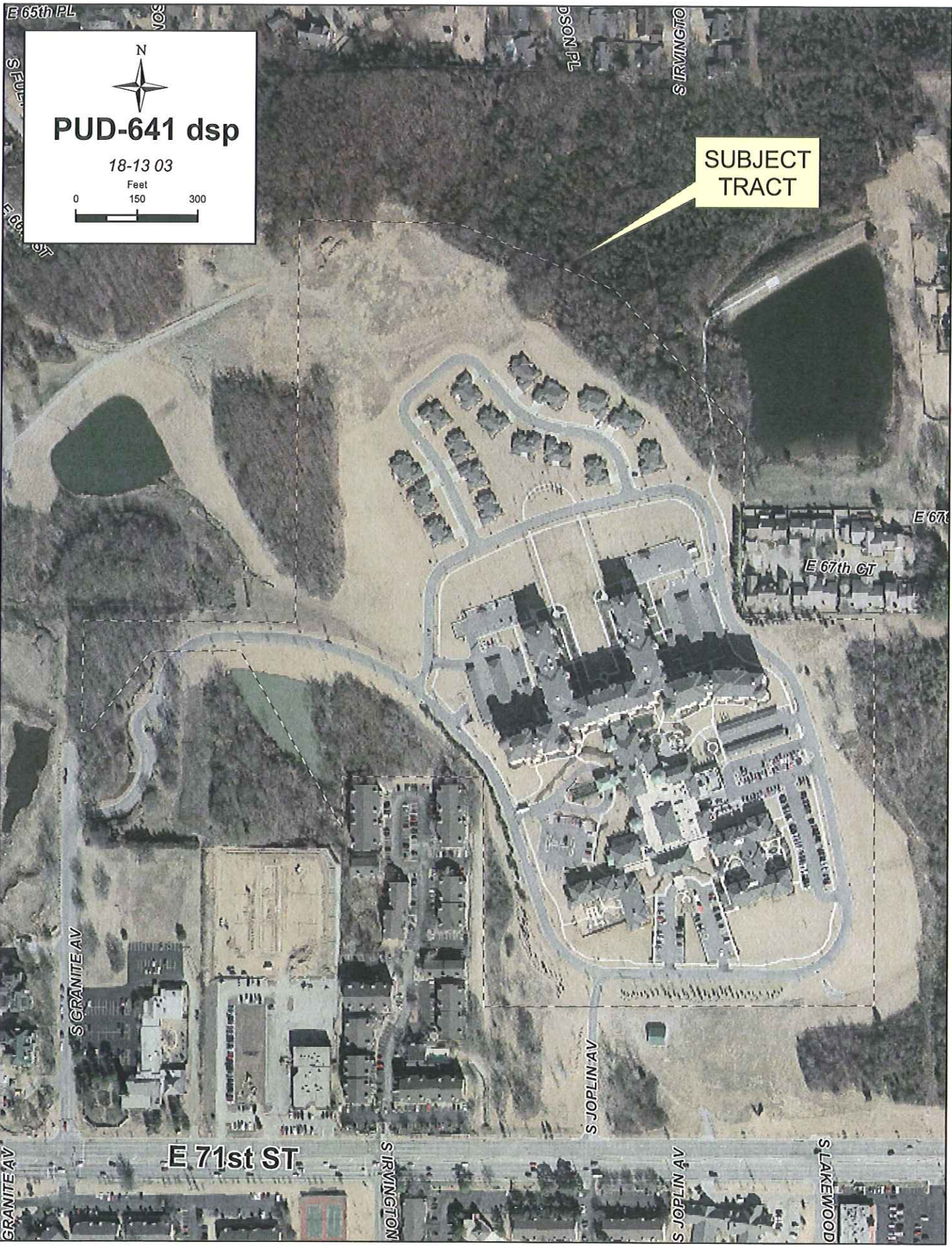


PUD-641 dsp

18-13 03

Feet
0 300 600





N

PUD-641 dsp

18-13 03

Feet

0 150 300

SUBJECT TRACT

GRANITE AV

E 71st ST

S IRVINGTON

S JOPLIN AV

S JOPLIN AV

S LAKEMOOD

E 65th PL

S GRANITE AV

E 67th CT

S IRVINGTON

E 67th PL

E 67th PL

E 67th CT

January 7, 2009

STAFF RECOMMENDATION

PUD-641: Minor Amendment – North side of 71st Street approximately 1,000 feet west of Sheridan Road; Montereau in Warren Woods; Development Area A; TRS 1813; CZM 53; Atlas 1001; PD 18 CD 7; OL/RS-3/PUD.

The applicant is requesting approval of a detail site plan for construction of 6, two unit independent living dwellings at Montereau in Warren Woods. The proposed use is in conformance with development standards of PUD-641, are permitted by minor amendment PUD-641-3.

The submitted site plan meets all applicable building area, livability space, building height and setback limitations. Parking has been provided per the Zoning Code. Landscaping is provided per the landscape chapter of the Zoning Code and adopted PUD development standards. Sight lighting will be directed down and away from adjoining properties.

Concurrently, on the January 7, 2009 agenda of the TMAPC is minor amendment PUD-641-5. This request is for a reduction of the setback requirement from the western 390' of the north PUD boundary and northern 410' of the west PUD boundary for single story structures from 50' to 20'. Staff has recommended approval of the aforementioned minor amendment. Approval of this detail site plan would be contingent upon approval of minor amendment PUD-641-5.

Staff recommends **APPROVAL** of the detail site plan for the addition of six, two unit structures in Montereau at Warren Woods as permitted by PUD-641 and minor amendments PUD-641-3 and PUD-641-5.

Note: Approval of a detail site plan does not constitute landscape or sign plan approval.

PUD SITE PLAN - PUD 641
DEVELOPMENT AREA A - 49.74 ACRES

PERMITTED USES AS INCLUDED WITHIN USE UNIT 2:
MULTI-FAMILY DWELLING WITH ACCESSORY USES
- SINGLE-FAMILY DWELLING AS INCLUDED WITHIN
- ACCESSORY USES AS INCLUDED WITHIN
- CARE RETIREMENT CENTER AS INCLUDED WITHIN
USE UNIT 8

PROPOSED USE: ASSISTED/LIVING/INDEPENDENT LIVING/ACCESSORY USES
MAXIMUM BUILDING FLOOR AREA PERMITTED OF ASSISTED LIVING/INDEPENDENT LIVING/ACCESSORY USES: 155,000 SF
EXISTING ASSISTED LIVING/PARKING: 71,862 SF
PROPOSED ASSISTED LIVING/PARKING ADDITIONS: 84,216 SF

TOTAL ASSISTED LIVING/PARKING PROVIDED: 156,078 SF
MAXIMUM BUILDING HEIGHT PERMITTED: 8 STORIES
MAXIMUM BUILDING HEIGHT PROPOSED: 8 STORIES

MINIMUM BUILDING SETBACKS REQUIRED:
ONE STORY BUILDINGS FROM DEVELOPMENT AREA BOUNDARIES: 60'
TWO STORY BUILDINGS FROM DEVELOPMENT AREA BOUNDARIES: 75'
ONE STORY BUILDINGS FROM DEVELOPMENT AREA A: 20'
TWO OR MORE STORY BUILDINGS FROM DEVELOPMENT AREA A: 25'
MINIMUM BUILDING SETBACKS FROM EASTERN BOUNDARY OF DEVELOPMENT AREA A: 85'

MAXIMUM NUMBER OF INDEPENDENT LIVING MULTI-FAMILY DWELLING UNITS: 346
NUMBER OF INDEPENDENT LIVING MULTI-FAMILY DWELLING UNITS EXISTING: 305
LIVABILITY SPACE PER DWELLING UNIT REQUIRED: 606 SF

LIVABILITY SPACE PROVIDED IS IN EXCESS OF 7,750 SF PER DU.
ON THIS DATE, THIS CALCULATION IS BASED ON THE LANDSCAPE AREA WHICH IS SMALLER THAN THE LIVABILITY SPACE AREA.

MAXIMUM LAND COVERAGE OF BUILDINGS ALLOWED: 30%
MAXIMUM LAND COVERAGE OF BUILDINGS PROVIDED: 13.8%

OFF STREET PARKING REQUIRED: 239
OFF STREET PARKING PROVIDED: 639

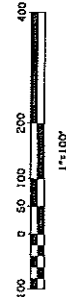
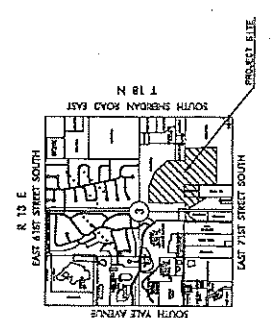
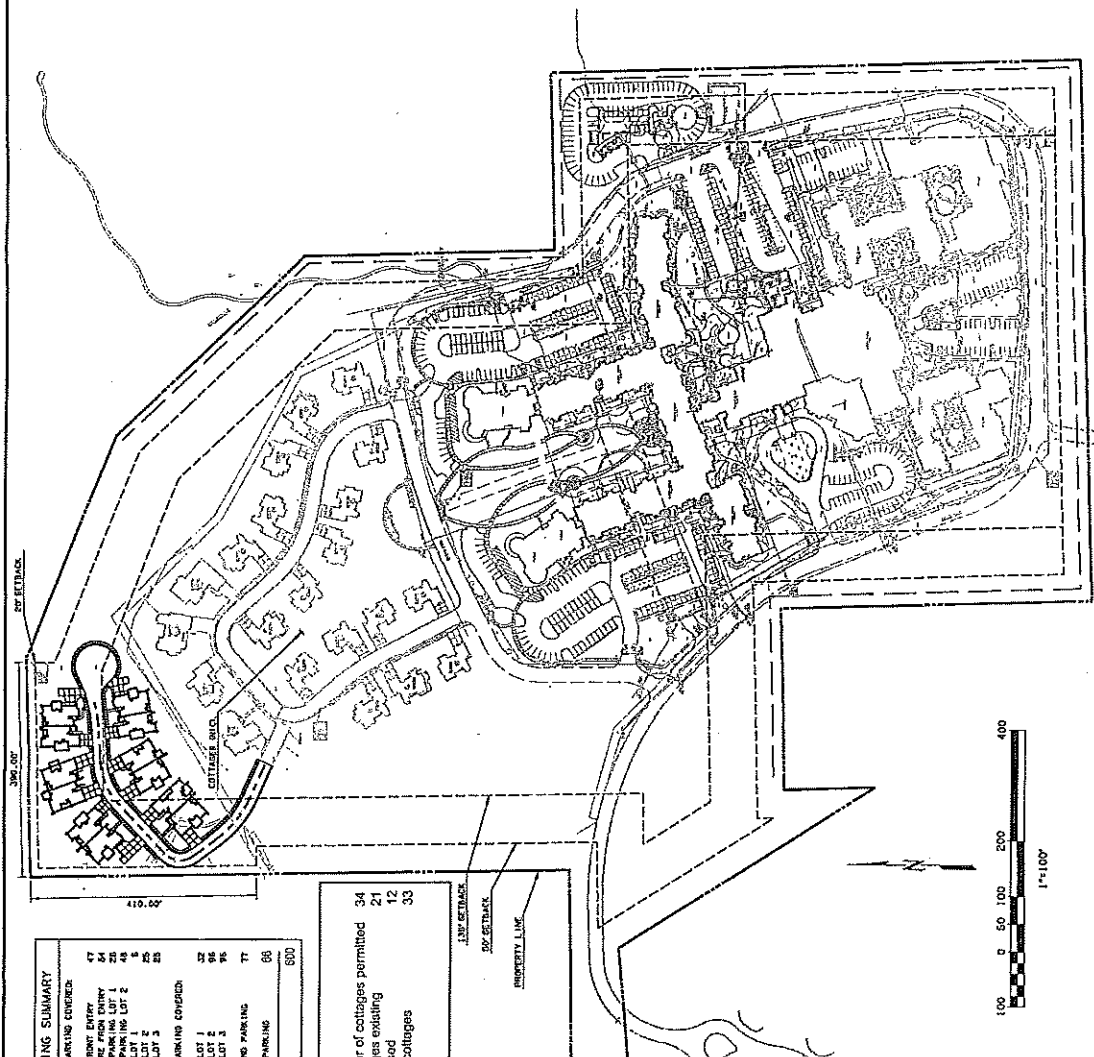
MINIMUM LANDSCAPE AREA REQUIRED: 305 (660,003 SF)
LANDSCAPE AREA PROVIDED: 315 (671,499 SF)

STREET VAND LANDSCAPE AREA REQUIRED: REFER TO APPROVED LANDSCAPE PLAN
STREET VAND LANDSCAPE AREA PROVIDED: REFER TO APPROVED LANDSCAPE PLAN
ADDITIONAL LANDSCAPE AREA REQUIRED: NONE
MAXIMUM LIGHTING HEIGHT PERMITTED: NOT APPLICABLE
MAXIMUM LIGHTING HEIGHT PROVIDED: NOT APPLICABLE
MAXIMUM LIGHTING HEIGHT PERMITTED: NOT APPLICABLE
MAXIMUM LIGHTING HEIGHT PROVIDED: NOT APPLICABLE

PARKING SUMMARY

TYPE	EXISTING	PROPOSED	TOTAL
CONCRETE FRONT ENTRY	47	54	101
HEALTH CARE FRONT ENTRY	54	54	108
RESIDENT LOT 1	44	44	88
RESIDENT LOT 2	44	44	88
RESIDENT LOT 3	44	44	88
RESIDENT LOT 4	44	44	88
RESIDENT LOT 5	44	44	88
RESIDENT LOT 6	44	44	88
RESIDENT LOT 7	44	44	88
RESIDENT LOT 8	44	44	88
RESIDENT LOT 9	44	44	88
RESIDENT LOT 10	44	44	88
RESIDENT LOT 11	44	44	88
RESIDENT LOT 12	44	44	88
RESIDENT LOT 13	44	44	88
RESIDENT LOT 14	44	44	88
RESIDENT LOT 15	44	44	88
RESIDENT LOT 16	44	44	88
RESIDENT LOT 17	44	44	88
RESIDENT LOT 18	44	44	88
RESIDENT LOT 19	44	44	88
RESIDENT LOT 20	44	44	88
RESIDENT LOT 21	44	44	88
RESIDENT LOT 22	44	44	88
RESIDENT LOT 23	44	44	88
RESIDENT LOT 24	44	44	88
RESIDENT LOT 25	44	44	88
RESIDENT LOT 26	44	44	88
RESIDENT LOT 27	44	44	88
RESIDENT LOT 28	44	44 </td	
RESIDENT LOT 29	44	44	88
RESIDENT LOT 30	44	44	88
RESIDENT LOT 31	44	44	88
RESIDENT LOT 32	44	44	88
RESIDENT LOT 33	44	44	88
RESIDENT LOT 34	44	44	88
RESIDENT LOT 35	44	44	88
RESIDENT LOT 36	44	44	88
RESIDENT LOT 37	44	44	88
RESIDENT LOT 38	44	44	88
RESIDENT LOT 39	44	44	88
RESIDENT LOT 40	44	44	88
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RESIDENT LOT 93	44	44	88
RESIDENT LOT 94	44	44	88
RESIDENT LOT 95	44	44	88
RESIDENT LOT 96	44	44	88
RESIDENT LOT 97	44	44	88
RESIDENT LOT 98	44	44	88
RESIDENT LOT 99	44	44	88
RESIDENT LOT 100	44	44	88

Maximum number of cottages permitted: 34
Number of cottages existing: 21
New units proposed: 12
Total number of cottages: 33



PUD SITE PLAN

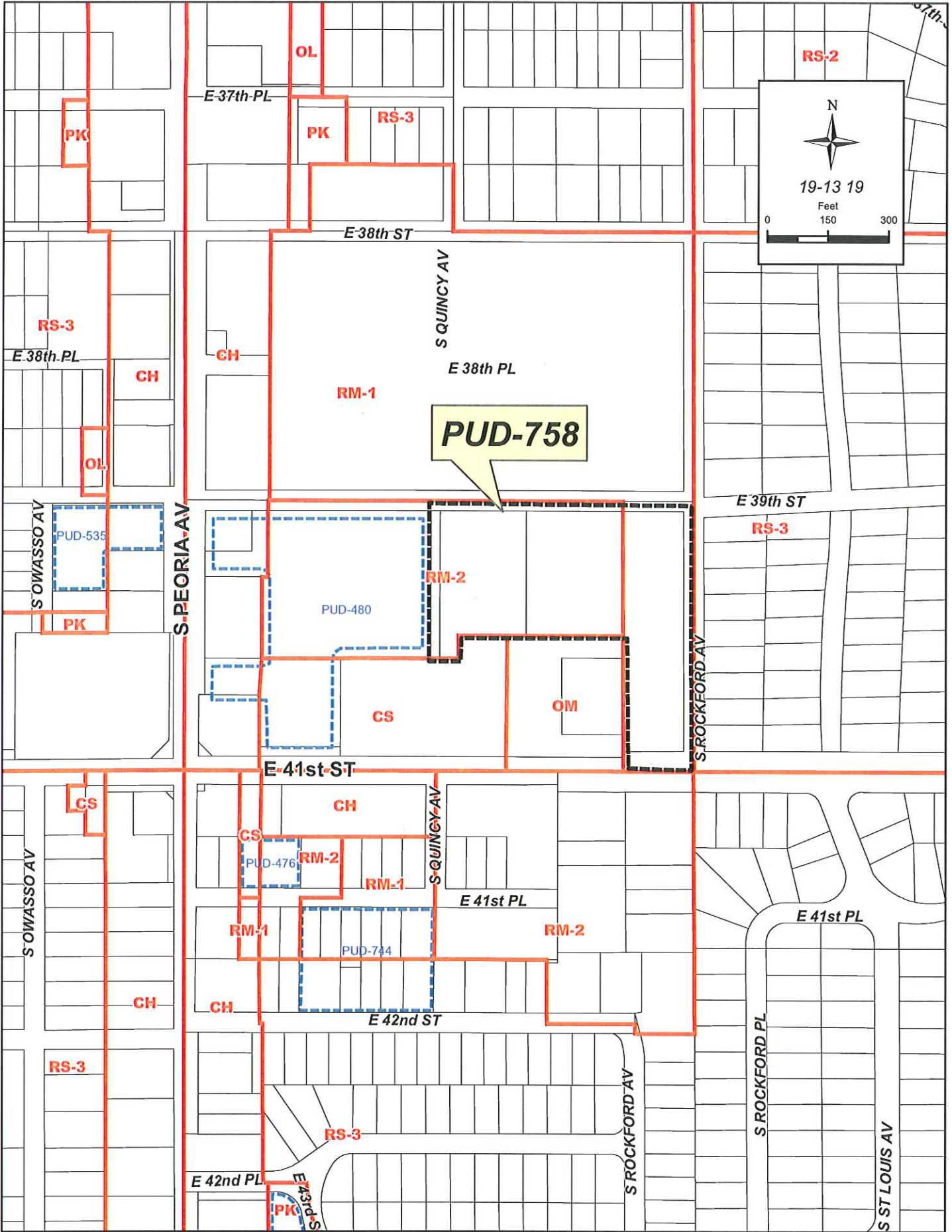
C100

PROJECT NO. 0740001

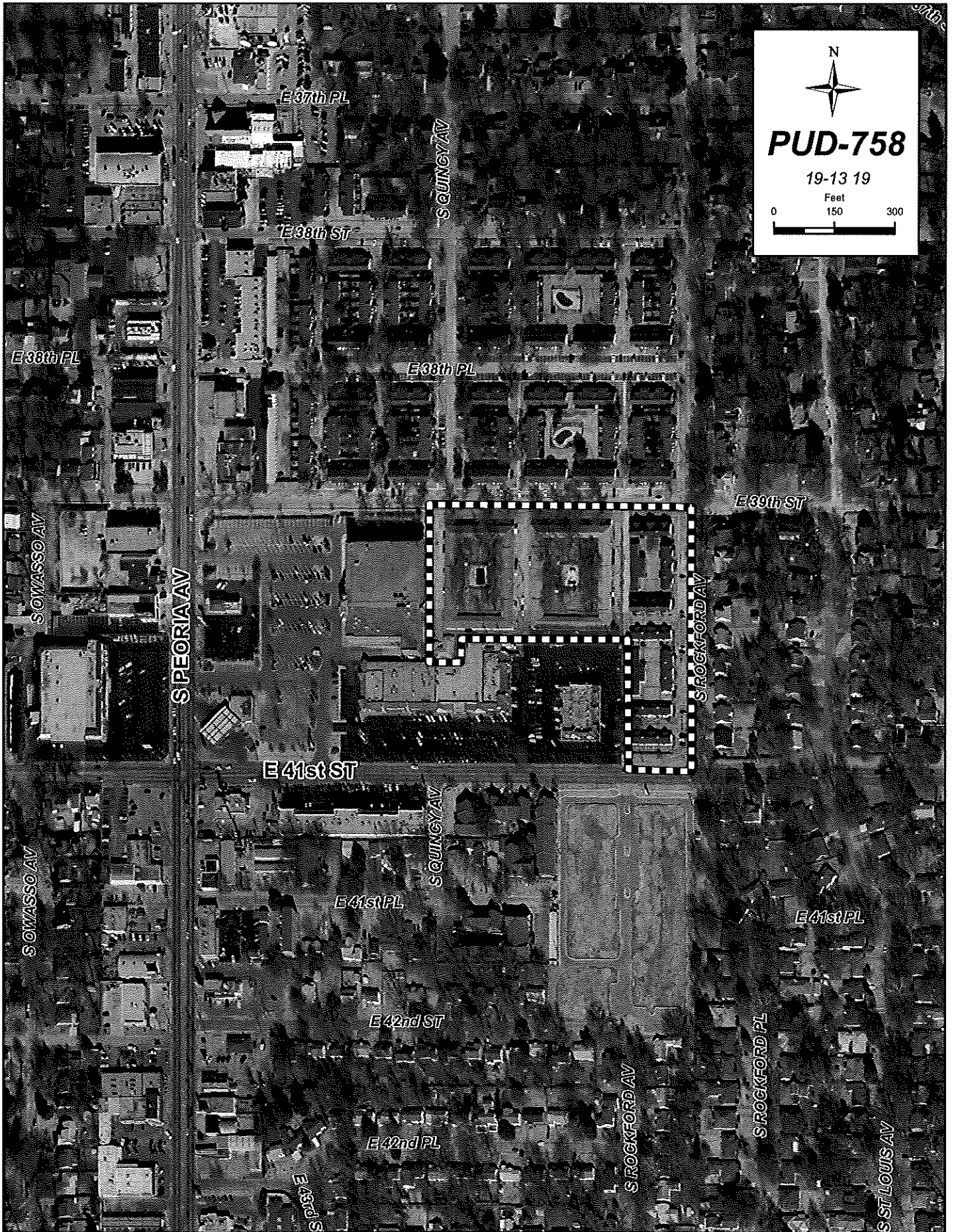
SHEET NO. 1 OF 2

REV	DESCRIPTION	DATE

CAUTION
NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY DETERMINED TO BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AS SHOWN ON THESE PLANS AND FOR ANY AND ALL DAMAGES TO UTILITIES AND MEASUREMENT TAKEN IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AS SHOWN ON THESE PLANS AND FOR ANY AND ALL DAMAGES TO UTILITIES AND MEASUREMENT TAKEN IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AS SHOWN ON THESE PLANS AND FOR ANY AND ALL DAMAGES TO UTILITIES AND MEASUREMENT TAKEN IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AS SHOWN ON THESE PLANS AND FOR ANY AND ALL DAMAGES TO UTILITIES AND MEASUREMENT TAKEN IN THE FIELD.



14.1



N

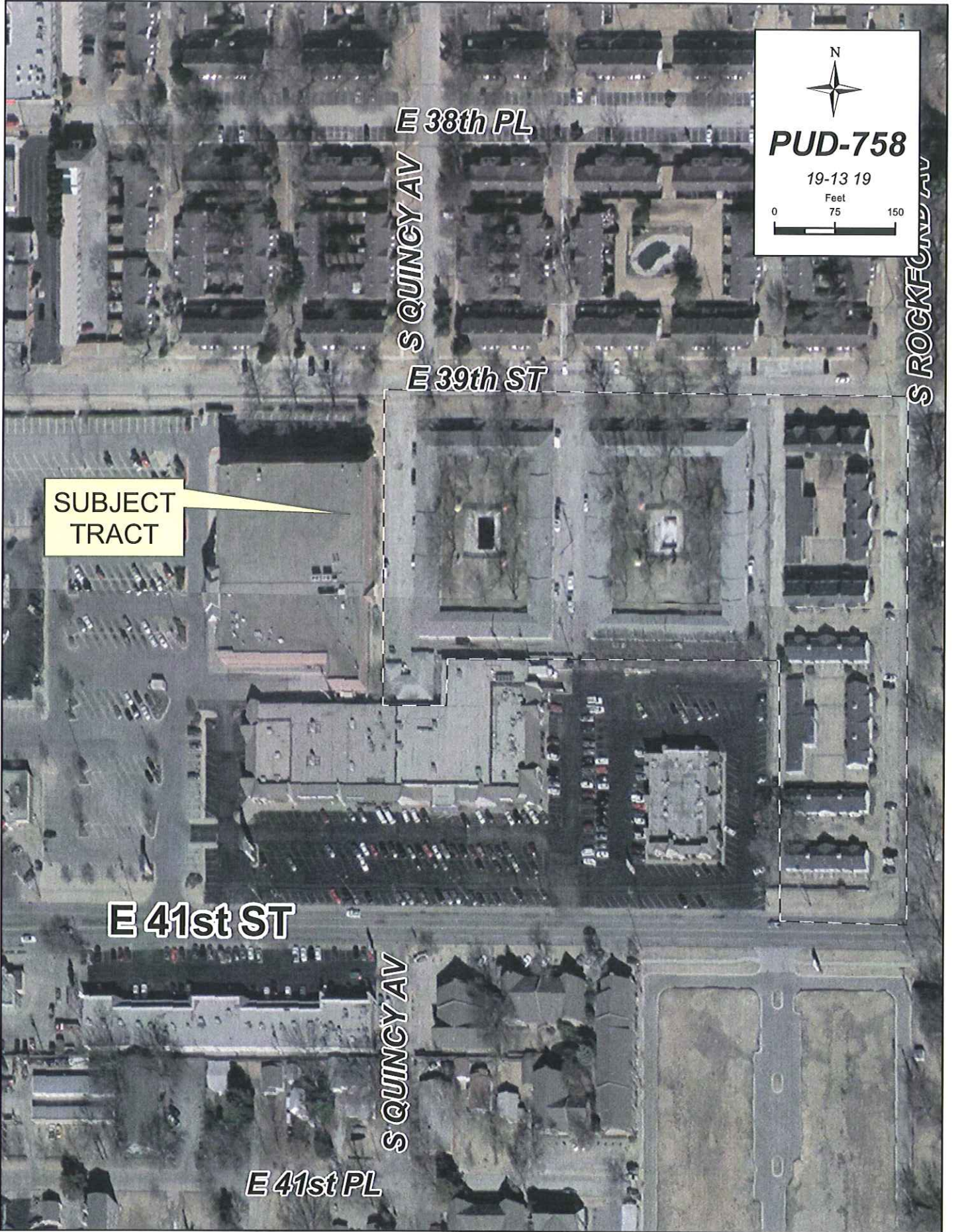
PUD-758

19-13 19

Feet

0 150 300

14.2



N

PUD-758

19-13 19

Feet
0 75 150

SUBJECT
TRACT

E 38th PL

S QUINCY AV

E 39th ST

S ROCKFORD AV

E 41st ST

S QUINCY AV

E 41st PL

14.3

January 7, 2009

STAFF RECOMMENDATION

PUD-758

Detail Site Plan – East of the northeast corner of Peoria Avenue and 41st Street; The Enclave at Brookside; TRS 9319; CZM 47; Atlas 248; PD 6 CD 9; RM-1/RM-2/RM-3/PUD.

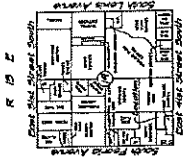
The applicant is requesting approval of a detail site plan for a 240 unit, 3 and 4 story apartment complex including a parking ramp at the above described location. The proposed use, Use Unit 8 – Multi-family and Similar Uses is in conformance with Development Standards of PUD-758.

The submitted site plan meets all applicable building floor area, dwelling unit density, open and livability space requirements. Building height and setback limitations have been met as well. Parking has been provided per the applicable use unit within the Zoning Code. An 8' screening fence will be constructed along the west and southern boundary lines. Trash enclosures will be screened from public view. There is no sight lighting or signage proposed at this time. All sight lighting will however be limited to 16-feet in height and will be directed down and away from adjoining properties per application of the Kennebunkport Formula with the exception of balcony mounted shielded light fixtures. Principal access to the site will be from 39th Street, while an exit only access point will be provided along Rockford Road. Exterior finish of the buildings appears to meet PUD development standards and will be of masonry construction (masonry includes stone, stucco and cementious fiber board such as Hardi Plank).

Therefore, staff recommends APPROVAL of the detail site plan for the Enclave at Brookside, PUD-758.

(Note: Detail site plan approval does not constitute landscape and sign plan approval.)

14.4



Address: 410 East 59th Street South

Legal Description

Legend

Building Setbacks

From 39th Street	25'
From Rockford	16'
From 41st Street	25'
From other boundaries	15'

Land Area Summary

SPOTS LAND AREA	1.11 ACRES
NET LAND AREA	1.11 ACRES
TOTAL IMPROVED LAND IN PROJECT	0.48 ACRES
IMPROVED LAND IN PROJECT	0.48 ACRES
UNIMPROVED LAND IN PROJECT	0.63 ACRES
UNIMPROVED LAND IN PROJECT	0.63 ACRES

Parking Summary

SPACES PROVIDED	40
SPACES PROVIDED	40
SPACES PROVIDED	40
SPACES PROVIDED	40
SPACES PROVIDED	40

The principal vehicular access to and from the development shall be provided by a private paved drive extending south from 39th Street, commencing at the west boundary of the Site. Setback spaces for entering vehicles shall be provided on-site. A second point of access, limited to exiting vehicles, shall be provided at Rockford Avenue.

Open Space Summary

TOTAL IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES

Signage shall be limited to two signs identifying the apartment complex, other monument or wall signs, and nearby residential properties. Decorative lighting directed from ground level toward a building shall be permitted. Shielding shall be designed to prevent the light producing element or reflector of the light from being visible to a person standing within a residential district. No light standard nor building mounted light, except balcony low wallage shielded lights, shall exceed 16' in height. Conformance with these standards shall be subject to application of the Kennebunkport formula.

Open Space Summary

TOTAL IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES

Exterior lighting limited to shielded fixtures designed to direct light downward and away from adjoining and nearby residential properties. Decorative lighting directed from ground level toward a building shall be permitted. Shielding shall be designed to prevent the light producing element or reflector of the light from being visible to a person standing within a residential district. No light standard nor building mounted light, except balcony low wallage shielded lights, shall exceed 16' in height. Conformance with these standards shall be subject to application of the Kennebunkport formula.

Open Space Summary

TOTAL IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES

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Open Space Summary

TOTAL IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
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Open Space Summary

TOTAL IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
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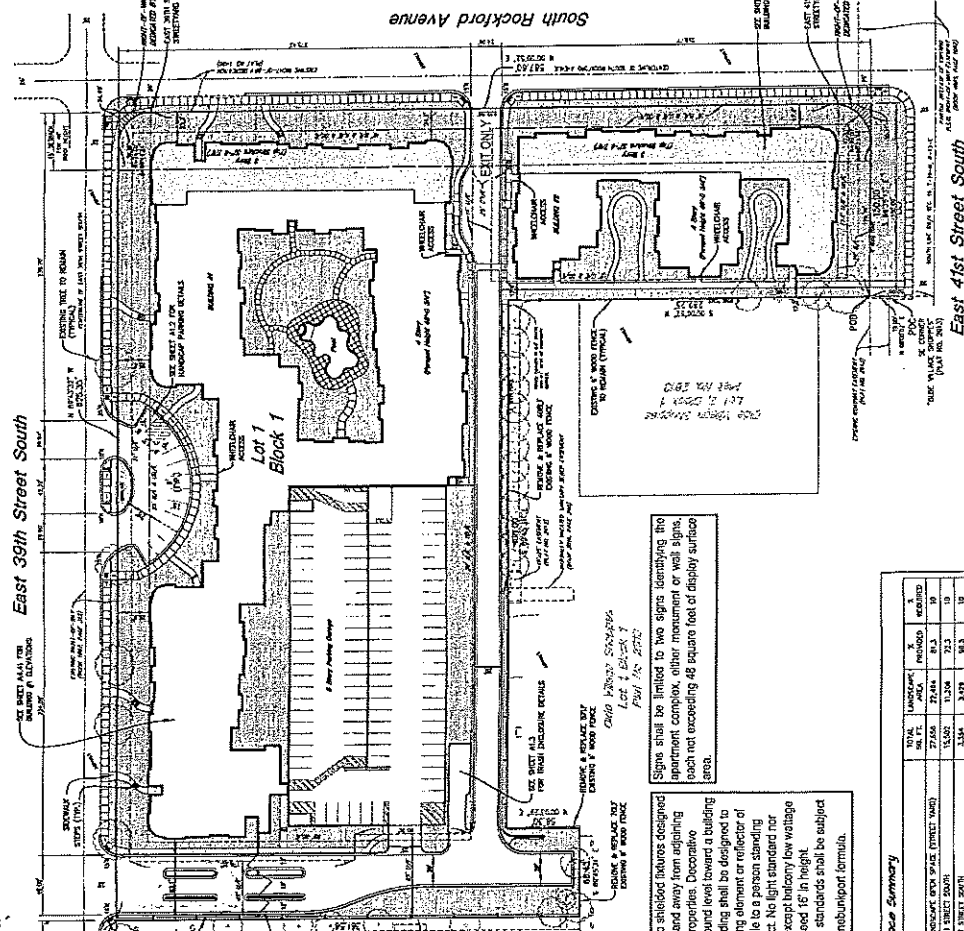
Open Space Summary

TOTAL IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
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Open Space Summary

TOTAL IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES
NET IMPROVED AREA	0.48 ACRES



The Enclave at Brookside

P.U.D. No. 758

TULSA, OKLAHOMA

BOMASADA TULSA, LLC
1800 LANDER AT 4100 DRIVE, SUITE 200, MOOREHEAD, TX 75854
ATTN: TY WINGLAK, VICE PRESIDENT

HR AOK, INC
1000 WEST 10TH ST, SUITE 100, TULSA, OK 74106
PHONE: 918.438.1111 FAX: 918.438.1112

DATE: 12.19.06

SCALE: 1" = 20' - 0"

LEGEND

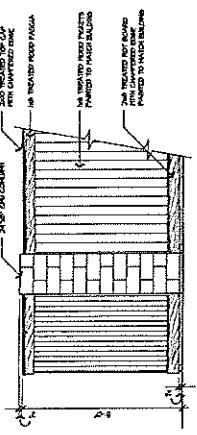
OWNER: BOMASADA TULSA, LLC

DESIGNER: HR AOK, INC

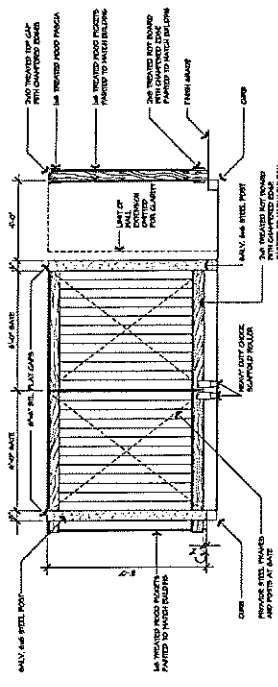
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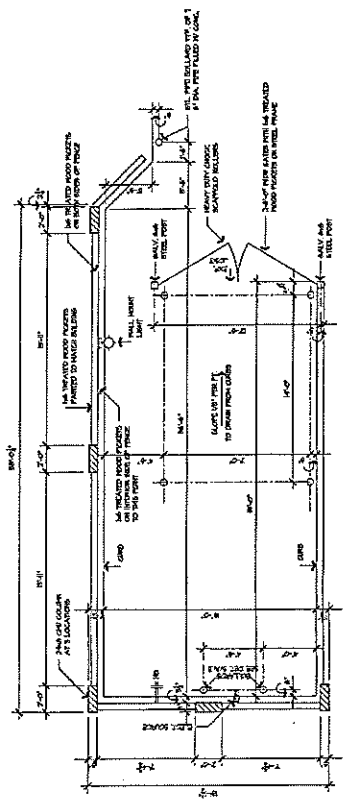
14.5



FENCE ELEVATION | 3/8" = 1'-0"

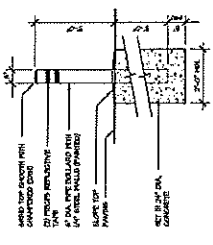


GATE ELEVATION | 3/8" = 1'-0"

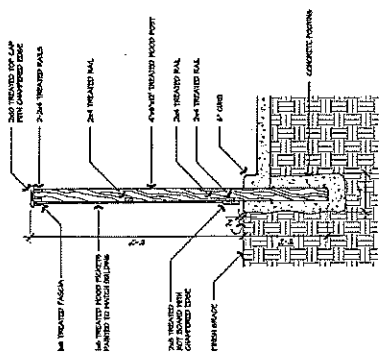


FLOOR PLAN | 1/4" = 1'-0"

SITE DETAILS
TRASH COMPACTOR ENCLOSURE

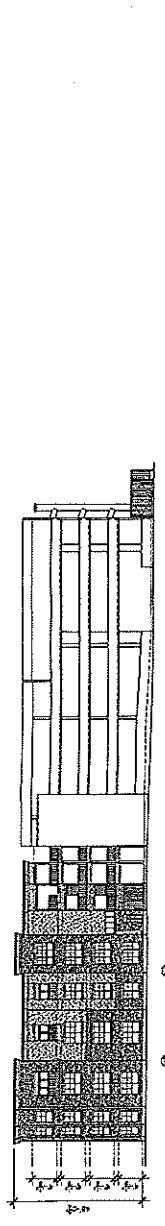


PIPE BOLLARD DETAIL | 1/2" = 1'-0"

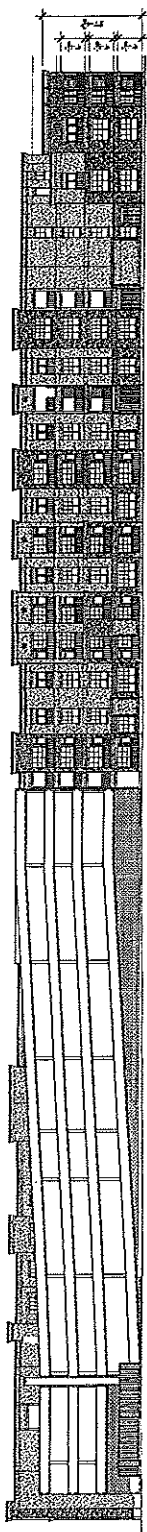


FENCE SECTION | 1/4" = 1'-0"

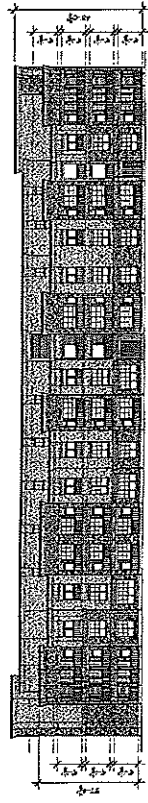
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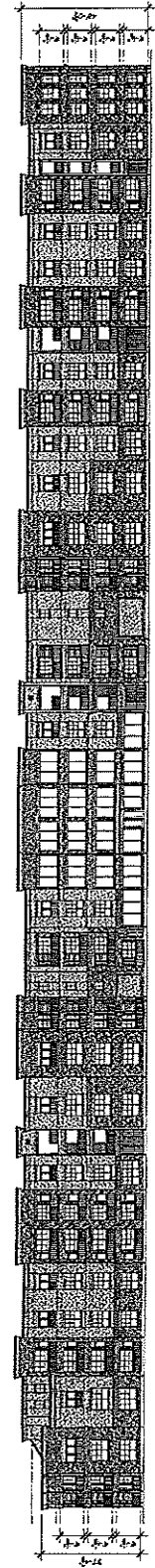
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION AT S. ROCKFORD AVENUE



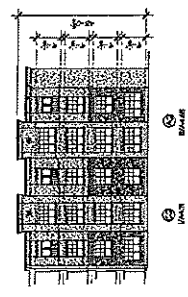
NORTH ELEVATION AT 84th STREET

EXTERIOR ELEVATIONS
BUILDING #1

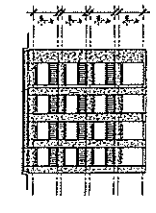
100% of exterior walls visible from public streets excluding windows, doors and breezeways will be of masonry construction. Masonry shall include stone, stucco and cementitious fiber board such as Fibre Plank.



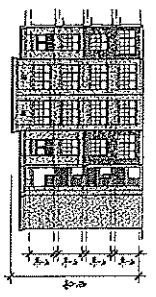
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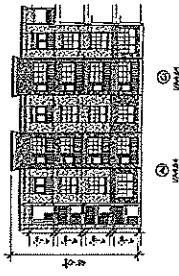
⑨ NORTH COURTYARD SOUTH ELEVATION
1"=20'



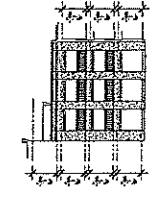
⑩ NORTH COURTYARD EAST ELEVATION
1"=20'



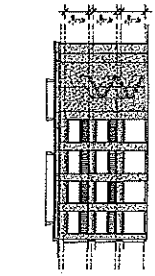
⑪ NORTH COURTYARD NORTH ELEVATION
1"=20'



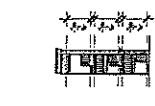
⑧ SOUTH COURTYARD NORTH ELEVATION
1"=20'



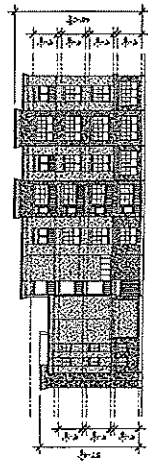
⑦ SOUTH COURTYARD EAST ELEVATION
1"=20'



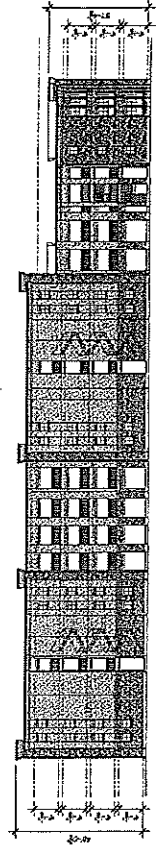
⑥ SOUTH COURTYARD SOUTH ELEVATION
1"=20'



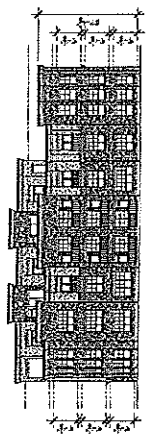
⑤ SOUTH COURTYARD WEST ELEVATION
1"=20'



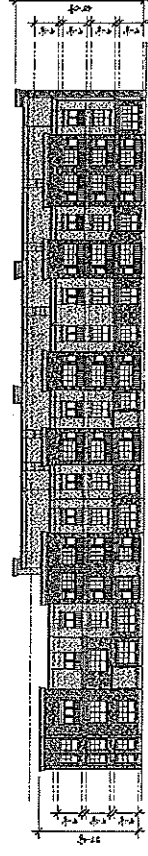
④ NORTH ELEVATION
1"=20'



③ WEST ELEVATION
1"=20'



② SOUTH ELEVATION AT EAST 41st STREET
1"=20'



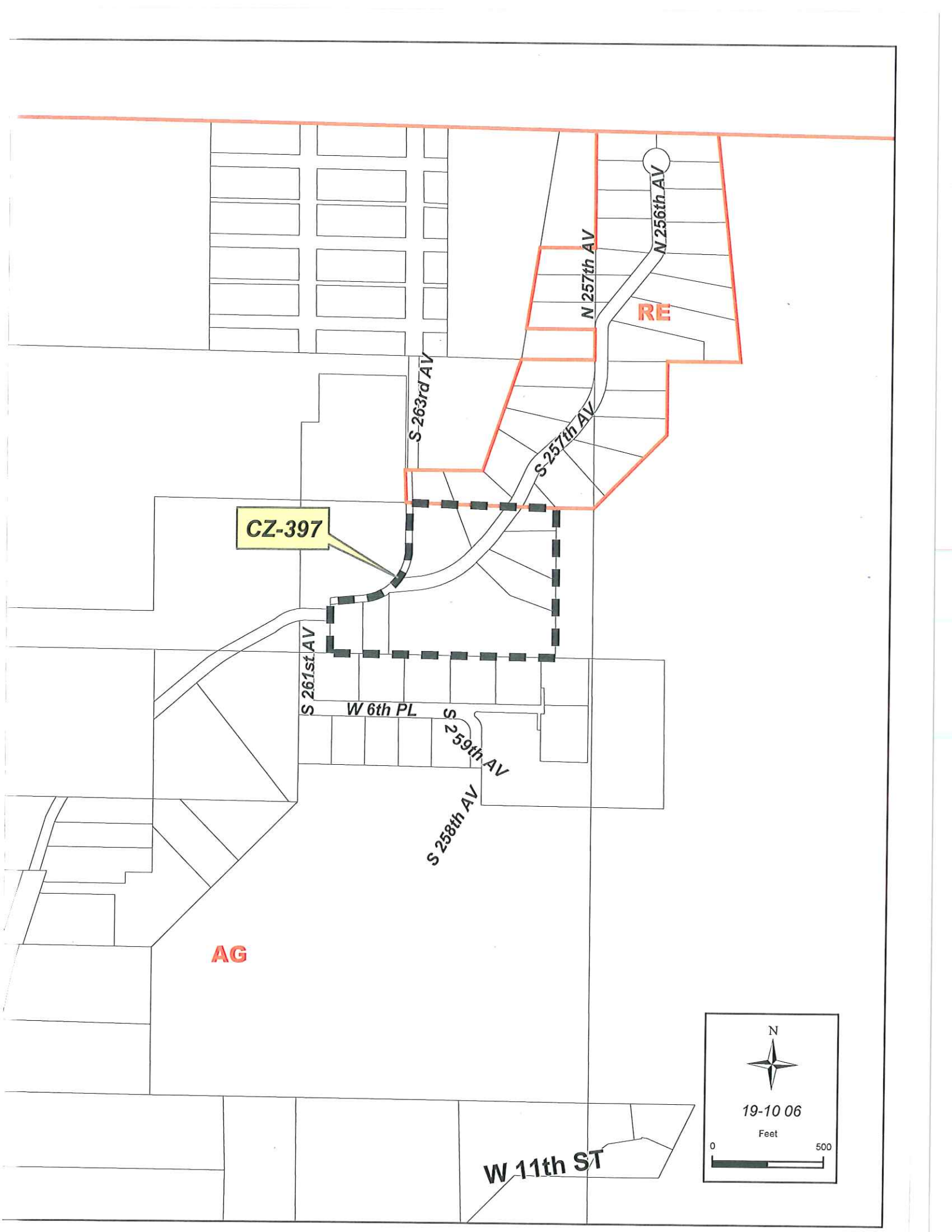
① EAST ELEVATION AT S. ROCKFORD AVENUE
1"=20'

EXTERIOR ELEVATIONS
BUILDING #2

100% of exterior walls visible from public streets excluding windows, doors and breezeways will be of masonry construction. Masonry shall include stone, stucco and cementitious fiber board such as Hardie Plank.

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.

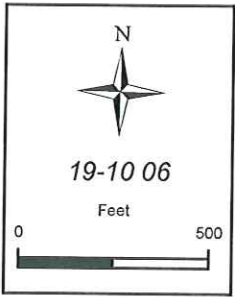
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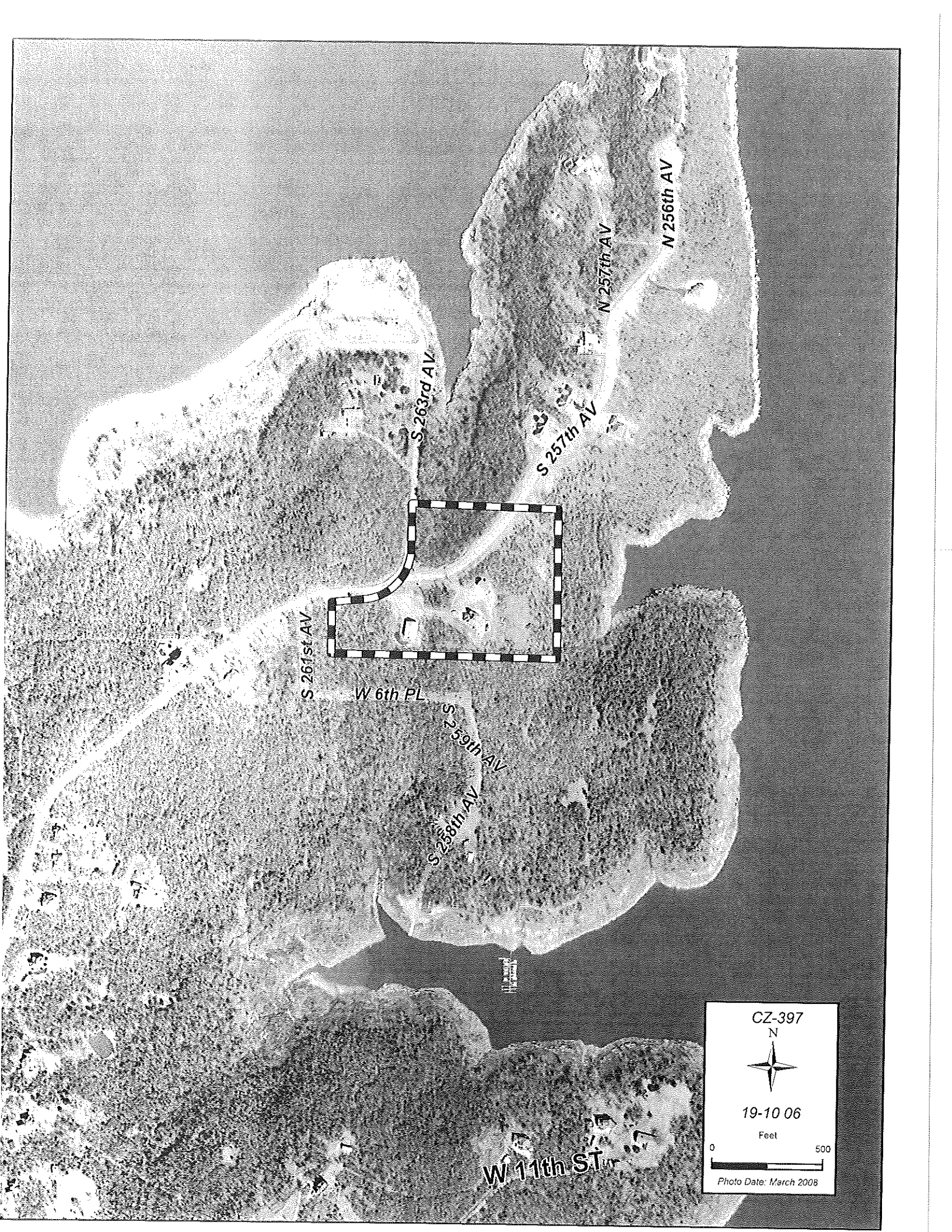
CZ-397

AG

RE



W 11th ST



S 261st AV

S 263rd AV

W 6th PL

S 259th AV

S 258th AV

S 257th AV


N 257th AV

N 256th AV

W 11th ST

CZ-397

N

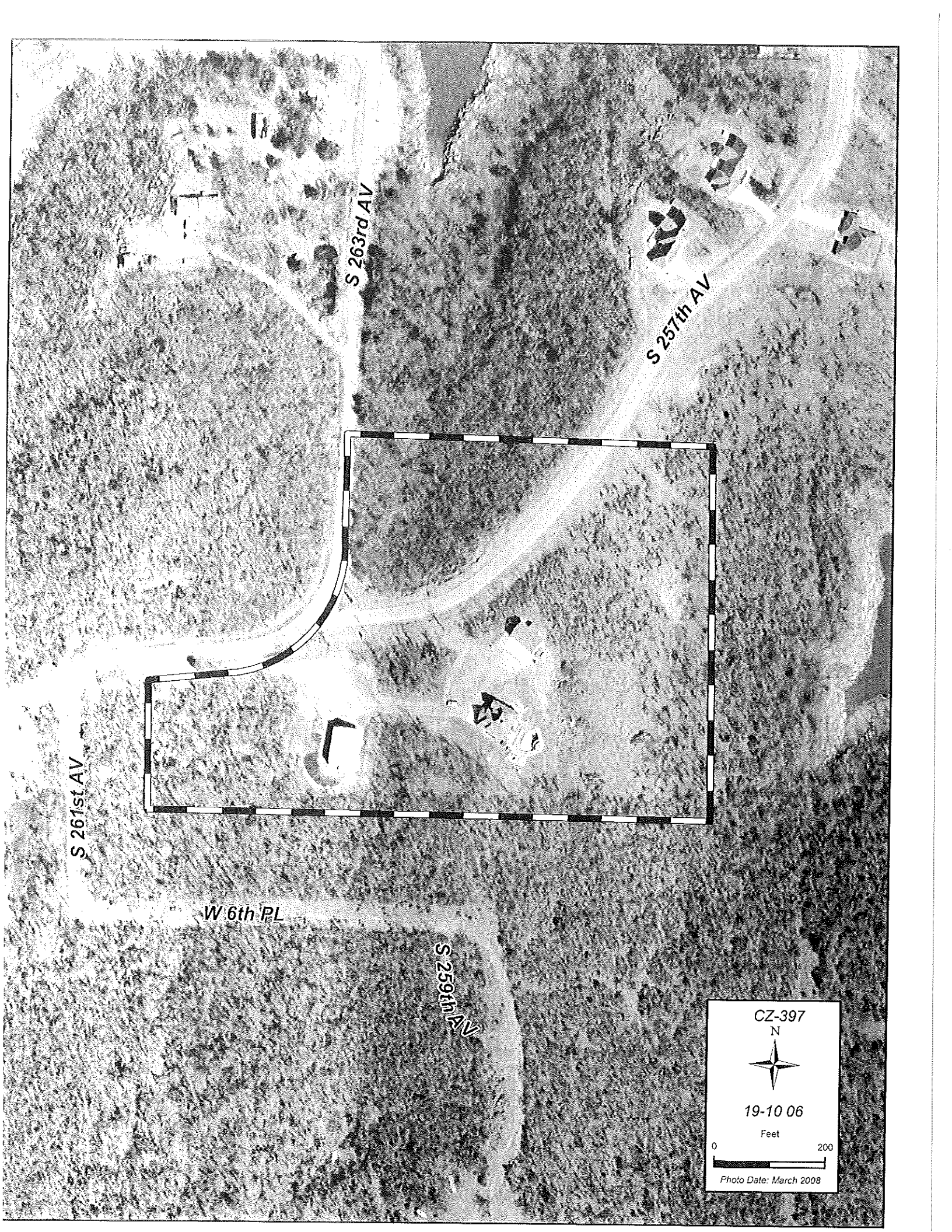


19-10 06

Feet

0 500

Photo Date: March 2008



S 261st AV


S 263rd AV

S 257th AV


W 6th PL

S 259th AV

CZ-397
N



19-10 06
Feet



0 200
Photo Date: March 2008

**TULSA METROPOLITAN AREA PLANNING COMMISSION
CASE REPORT**

APPLICATION: CZ-397

TRS 9006

Atlas 0

CZM 32

PD- County

TMAPC Hearing Date: January 7, 2009

Applicant: TMAPC

Tract Size: 12± acres

ADDRESS/GENERAL LOCATION: North of the northeast corner of South 261st Avenue and West 6th Place.

EXISTING ZONING: AG

EXISTING USE: Residential

ZONING RESOLUTION: Resolution number 98254, dated September 15, 1980, established zoning for the subject property.

PROPOSED ZONING: RE

PROPOSED USE: Residential Subdivision

RELEVANT ZONING HISTORY:

CZ-340 June 2004: A request for rezoning a 40± acre tract of land from AG to RS was submitted. All concurred in denial of RS zoning and approval of RE zoning, on property located on the northeast and southeast corner of South 263rd West Avenue (Coyote Trail) and Pawnee County Line. (Note that TMAPC is the applicant on the current application because the applicant on CZ-340 believed the property in the CZ-397 case was included in CZ-340).

AREA DESCRIPTION:

SITE ANALYSIS: The subject property is approximately 12± acres in size and is located east of southeast corner of South 261st West Avenue and South 263rd West Avenue. The property appears to be used residentially and is zoned AG.

STREETS:

Exist. Access	MSHP Design	MSHP R/W	Exist. # Lanes
South 257 West Avenue	N/A	N/A	2

UTILITIES: The subject tract has municipal water and sewer available.

SURROUNDING AREA: The subject tract is abutted on the east by the Keystone Reservoir and vacant land, zoned AG; on the north by the Keystone Reservoir and vacant land, zoned AG; on the south by sparsely developed large lot single-family residential uses and vacant land, zoned AG; and on the west by sparsely developed large lot single-family residential uses and vacant land, zoned AG.

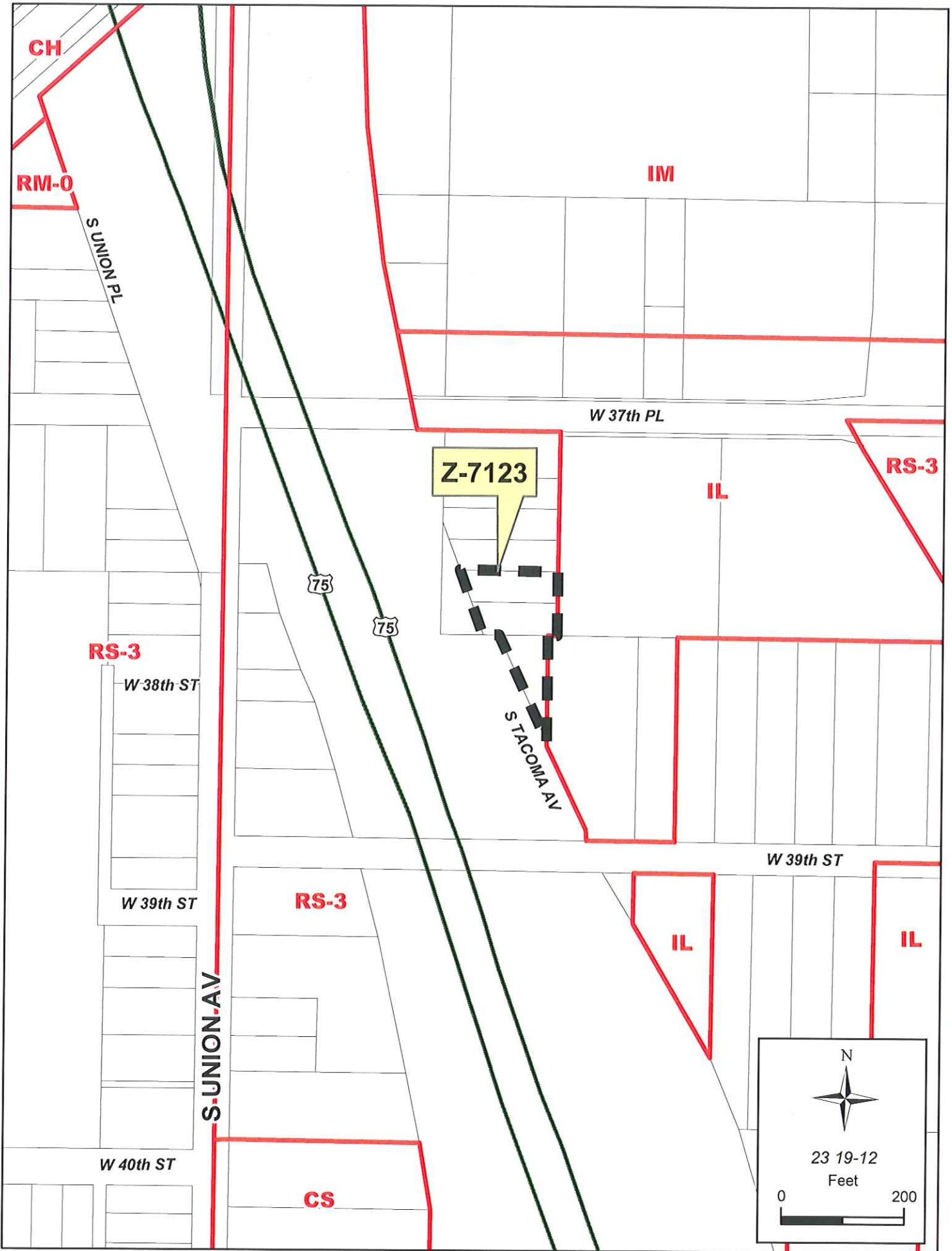
RELATIONSHIP TO THE COMPREHENSIVE PLAN:

The Metropolitan Development Guidelines, a part of the adopted Comprehensive Plan for the Tulsa Metropolitan Area, designates this area as being Low Intensity-No Specific land use. According to the Zoning Matrix, the requested RE zoning is in accord with those Guidelines.

STAFF RECOMMENDATION:

Based on the Development Guidelines and trends in the area, staff can support the requested RE zoning and therefore recommends **APPROVAL** of RE zoning for CZ-397.

01/07/09





SUNION PL

W 37th PL

75

75

W 38th ST

STACOMA AV

W 39th ST

W 39th ST

STUNION AV

W 40th ST

Z-7123

N



23 19-12

Feet

0

200


Photo Date: March 2008



75

Z-7123

N



23 19-12

Feet

0 50

Photo Date: March 2008

**TULSA METROPOLITAN AREA PLANNING COMMISSION
CASE REPORT**

APPLICATION: Z-7123

TRS 2329

Atlas 252

CZM 46

PD-9 CD-2

TMAPC Hearing Date: January 7, 2009

Applicant: Timothy Scott Nall

Tract Size: .48± acres

ADDRESS/GENERAL LOCATION: 3751 and 3755 South Tacoma Avenue

EXISTING ZONING: RS-3

EXISTING USE: Residential

ZONING ORDINANCE: Ordinance number 11822 dated June 26, 1970, established zoning for the subject property.

PROPOSED ZONING: CG

PROPOSED USE: Tree service

RELEVANT ZONING HISTORY:

Z-7036 December 2006: All concurred in approval of a request for rezoning a .66± acre tract of land from RS-3 to IL on property located southwest corner of West 39th Street and Highway 75 South

Z-6962 December 2004: All concurred in approval of a 4± acre tract from RS-3 to IL for light industrial uses located on the northeast corner of West 39th Street and South Tacoma Avenue and abutting southeast of subject property.

AREA DESCRIPTION:

SITE ANALYSIS: The subject property is approximately .48± acres in size and is located 3751 and 3755 South Tacoma Avenue. The property appears to be used residentially and is zoned RS-3.

STREETS:

Exist. Access	MSHP Design	MSHP R/W	Exist. # Lanes
South Tacoma Ave	N/A	N/A	2

UTILITIES: The subject tract has municipal water and sewer available.

SURROUNDING AREA: The subject tract is abutted on the east by industrial uses, zoned IL; on the north by single-family residential and mixed uses, zoned RS-3; on the south by part of an industrial use, zoned IL; and on the west by U.S. Highway 75, zoned RS-3.

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

The District 9 Plan, a part of the adopted Comprehensive Plan for the Tulsa Metropolitan Area, designates this area as being within Special District 5, which is planned for low-impact (non-polluting) industrial uses such as distribution centers and warehousing. According to the

Zoning Matrix, the requested CG zoning **may be found** in accord with the Plan due to its location within a Special District. The area is also designated as Development Sensitive due to its proximity to the Arkansas River and some tributaries. However, stormwater improvements in recent years, as well as improved bridgework for the railroad, may have mitigated that problem.

STAFF RECOMMENDATION:

This area has undergone several rezonings in the past years and is clearly in transition. The property is adjacent to industrial uses and a highway. Therefore, based on the District 9 Plan, surrounding uses and trends in the area, staff recommends **APPROVAL** of CG zoning for Z-7123.

01/07/09